

REGULAR MEETING AGENDA

1. Call to Order

2. Approval of Agenda

3. Public Comment

The public may speak to the Planning Commission regarding matters on the agenda that are not scheduled for public hearing or plat consideration. (3 minute time limit).

4. Reconsideration

5. Adoption of Consent Agenda

All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda and considered in normal sequence.

- A. Approval of Minutes of September 14, 2016 and September 21, 2016 **Page 1**
- B. CUP 16-04 Decision and Findings **Page 11**
- C. CUP 16-05 Amending CUP 15-04 Decision and Findings at 5185 Slavin Drive **Page 15**

6. Presentations

7. Reports

- A. SR 16-57, City Planner's Report **Page 19**

8. Public Hearings

Testimony limited to 3 minutes per speaker. The Commission conducts Public Hearings by hearing a staff report, presentation by the applicant, hearing public testimony and then acting on the Public Hearing items. The Commission may question the public. Once the public hearing is closed the Commission cannot hear additional comments on the topic. The applicant is not held to the 3 minute time limit.

- A. SR 16-60, CUP 16-06 Homer Medical Clinic expansion at 4136 Bartlett Street **Page 21**

9. Plat Consideration

10. Pending Business

11. New Business

12. Informational Materials

- A. City Manager's Report from September 26, 2016 **Page 73**

13. Comments of The Audience

Members of the audience may address the Commission on any subject. (3 minute time limit)

14. Comments of Staff

15. Comments of The Commission

16. Adjournment: Meetings will adjourn promptly at 9:30 p.m. An extension is allowed by a vote of the Commission. Notice of the next regular or special meeting or work session will appear on the agenda following "adjournment."

Session 16-14, a Special Meeting of the Homer Advisory Planning Commission was called to order by Chair Stead at 5:30 p.m. on September 14, 2016 at the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska.

PRESENT: COMMISSIONERS ABRAHAMSON, BRADLEY, STEAD, VENUTI

ABSENT: BOS, HIGHLAND, STROOZAS

STAFF: CITY PLANNER ABBOUD
DEPUTY CITY CLERK JACOBSEN

Approval of Agenda

Chair Stead called for a motion to approve the agenda.

VENUTI/BRADLEY SO MOVED

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

Public Comment

The public may speak to the Planning Commission regarding matters on the agenda that are not scheduled for public hearing or plat consideration. (3 minute time limit).

Reconsideration

Adoption of Consent Agenda

All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda and considered in normal sequence.

Presentations

Reports

Public Hearings

Testimony limited to 3 minutes per speaker. The Commission conducts Public Hearings by hearing a staff report, presentation by the applicant, hearing public testimony and then acting on the Public Hearing items. The Commission may question the public. Once the public hearing is closed the Commission cannot hear additional comments on the topic. The applicant is not held to the 3 minute time limit.

A. Staff Report PL 16-49, CUP 16-05, Amending CUP 15-04, at 5185 Slavin Drive

City Planner Abboud reviewed the staff report.

Fred Pfeil, applicant, thanked the Commission for their work and said he was available to answer questions.

Chair Stead opened the public hearing. There were no public comments and the hearing was closed.

There were no questions of staff or the applicant.

BRADLEY/ABRAHAMSON MOVED THAT THE COMMISSION APPROVES STAFF REPORT PL 16-49, CUP 16-05 AMENDING CUP 15-04 AT 5185 SLAVING DRIVE WITH FINDINGS 1 THRU 10.

Comment was made in support of the proposal.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

B. Staff Report PL 16-46, CUP 16-04, HVFD Equipment Storage Facility-4060 Heath St.

City Planner Abboud reviewed the staff report.

There was no applicant presentation.

Chair Stead opened the public hearing. There were no public comments and the hearing was closed.

There was brief discussion that this will be part of the current project that is underway at the fire station, and that there is adequate parking available on site.

VENUTI/ABRAHAMSON MOVED THAT THE COMMISSION APPROVES STAFF REPORT PL 16-46, CUP 16-04, HVFD EQUIPMENT STORAGE FACILITY AT 4060 HEATH ST. WITH FINDINGS 1-10.

Comment was made in support of the proposal.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

C. Staff Report PL 16-50, CUP 16-06, Homer Medical Clinic Expansion

City Planner Abboud reviewed the staff report.

Scott Curtin, Kenai Peninsula Borough Land Management Officer, commented that he doesn't disagree with a majority of the items referenced in the staff report. The property is just under an acre which is why there isn't a storm water plan in the packet but they have contacted their civil engineer and started the process of addressing the storm water plan. He agrees the current plan exceeds the minimum number of parking space required and that the parking there is still tight. They have just received a determination from ACOE they can proceed to the wooded area to the east which would

allow them to expand the impervious coverage, creating the need for the storm water plan. They walked the site and there is a culvert from the property to the north that comes across Danview and discharging onto their property. He referenced the aerial photo and explained the drainage issues. He has talked with the Schroeder's and Public Works Director Meyer about ditching to redirect the water and wants to make sure it works for all parties.

In relation to the recommendation to have a paved sidewalk to connect to the sidewalk on Bartlett, Mr. Curtin said his concern is that Bartlett is higher than the sidewalk, so they may have to go to the south to keep it at a level plane. It will require taking some trees down.

Mr. Curtin provided some hand drawn notes of what a storm water retention area. He explained what it could look like and that he would like to talk to the city engineer about where to locate it.

Chair Stead opened the public hearing.

Tom Schroeder, city resident, said he is opposed to the CUP at this time. He is the property owner immediately to the east of the Homer Medical Clinic property. He is concerned whether the revised plan from the Borough that hasn't been presented yet will adequately address the water problem in the area. Mr. Schroeder explained the continual issue with water and snow melt drainage and the efforts and cost incurred to attempt to deal with it. He will not support the project until the parking lot is regraded and possibly paved so that all rain and snow melt is directed west to Bartlett St.; until all snow plowing and storage is directed west to Bartlett St.; and until they clear and grade the grown over ditch and open the culvert under the driveway entrance so ditch water will continue to move down south along Bartlett St. Mr. Schroeder provided a written copy of his comments for the record.

Merlin Cordes, city resident on East Fairview, said he is aware of some of the problems there and thinks Mr. Curtin highlighted a lot of the concerns and hopes they look closely at them. With paving a parking lot and the square footage roof area the runoff will have to be addressed very acutely. He's not sure if an option is to run a different storm sewer to a different ditch to divert water. There is a lot to look into, but he knows the water problem for the lower portion is immense and unless there is some drastic engineering that's appropriate, it can continue to be a problem and will affect the value of the Schroeder's home if it continues to be a problem. From a real estate side, wet homes and basements don't sell well. He isn't against expanding the clinic, but they need to do the best they can and avoid the problems that could arise in the future.

Kelly Cooper, Homer's Borough Assembly Representative, met with the Schroeder's and the Borough. She served several years on the Hospital Operating Board and she knows it is their responsibility to be a good neighbor. She firmly believes they can set a standard of being a good neighbor and meet the requirements of the CUP with those contingencies, because she does not want them to suffer any water issues and still move forward with the project. Several issues have already been addressed after the week's meetings and she's confident in the City and Boroughs ability with this project and looks forward to us being able to do it while maintaining the value of our neighbor's property.

Chair Stead closed the public hearing and opened the floor for rebuttal of the staff and applicant.

City Planner Abboud commented the challenge now is how to make appropriate conditions and ensure we get what we want. The City Engineer will have to approve the storm water plan and he would like to see a parking lot design that complies with code.

Mr. Curtin commented he does need to work with the City Engineer on how to resolve this and where he would like features put in so they are to the best benefit to all parties. They are more than happy to work with the City and the process to ensure things are properly reviewed.

There was discussion regarding the process for review of the storm water plan, culverts and drainage, parking, and wetlands delineation.

When asked about postponing this to their next regular meeting on October 5th, Mr. Curtin agreed that would be reasonable time to get more information regarding drainage together to bring back to the Commission.

VENUTI/BRADLEY MOVED TO POSTPONE CUP 16-06 UNTIL WE HAVE FURTHER INFORMATION REGARDING DRAINAGE AND SOLUTIONS AND HAVE A PUBLIC HEARING OCTOBER 5th.

There was no discussion.

VOTE: NON OBJECTION: UNANIMOUS CONSENT

Motion carried.

Comments of the Audience

Kelly Cooper thanked the commission for their service. She said the assembly is still assessing the reduction of Borough Planning Commission members. Objections were received from Homer and the Borough Planning Commission. She agrees and is advocating against the reduction. She thanked them again, said she appreciates their work, and they are very lucky to have Mr. Venuti on the Borough Planning Commission.

Comments of Staff

City Planner Abboud commented they talked about the Borough Commission when the Borough Mayor was here and talked about a formula that was going to be applied. Mr. Abboud said his concern is if we are going to represent 5 cities there would be multiple seats available but in the ordinance he didn't see how he was going to eliminate a city. In order to make it 11 members, some cities would have to be eliminated.

Comments of the Commission

Commissioner Venuti had no comment.

HOMER ADVISORY PLANNING COMMISSION
REGULAR MEETING MINUTES
SEPTEMBER 14, 2016

Commissioner Bradley said she will be absent at the next meeting. She noted issues regarding storm water have been on their agenda several times since she's been on the Commission and she thinks it's something they need to bring up again in the future.

Commissioner Abrahamson said she agrees with and reinforces Ms. Bradley's comments about storm water issues in the city. She appreciates CUP 16-05 being postponed for further information. She recommends the Homer Storm Water Manual is referenced in any plan. She advised that October 4th and 5th Kachemak Bay Research Reserve will be hosting a workshop and exploring ground water and surface water issues with climate scenario planning and to contact her for more information.

Chair Stead said it was a good meeting and he appreciates everyone's work.

Adjourn

There being no further business to come before the Commission, the meeting adjourned at 7:05 p.m. The next regular meeting is scheduled for August 21, 2016 at 6:30 p.m. in the City Hall Cowles Council Chambers. A worksession will be held at 5:30 p.m.

MELISSA JACOBSEN, CMC, DEPUTY CITY CLERK

Approved: _____

Session 16-15, a Regular Meeting of the Homer Advisory Planning Commission was called to order by Chair Don Stead at 6:37 p.m. on September 21, 2016 at the City Hall Cowles Council Chambers located at 491 E. Pioneer Avenue, Homer, Alaska.

PRESENT: COMMISSIONERS HIGHLAND, VENUTI, STEAD, AND STROOZAS

ABSENT: COMMISSIONERS BOS, ABRAHAMSEN, BRADLEY

STAFF: CITY PLANNER ABBOUD
DEPUTY CITY CLERK KRAUSE

APPROVAL OF AGENDA

Chair Stead called for a motion to approve the agenda.

HIGHLAND/STROOZAS - SO MOVED.

There was no discussion.

VOTE. YES. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PUBLIC COMMENT

RECONSIDERATION

ADOPTION OF CONSENT AGENDA

All items on the consent agenda are considered routine and non-controversial by the Planning Commission and are approved in one motion. There will be no separate discussion of these items unless requested by a Planning Commissioner or someone from the public, in which case the item will be moved to the regular agenda and considered in normal sequence.

A. Approval of the minutes of September 7, 2016 regular meeting

Chair Stead requested a motion to approve the consent agenda.

STROOZAS/HIGHLAND - SO MOVED.

There was no discussion.

VOTE. YES. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PRESENTATIONS

A. Peonies on Pioneer - Adele Person

Ms. Adele Person presented a PowerPoint on the Pioneer Avenue Revitalization Project - Peonies on Pioneer. This is a collaborative project that includes the City of Homer, State of Alaska Department of Transportation, Homer Safe Routes and Trails Group, Pioneer Avenue Businesses, Cook Inletkeeper, Woodard Creek Coalition, and Bunnell Art Gallery - Artist in Residence, Kady Perry; Homer Council on the Arts; the Pratt Museum; Rita Jo Shoultz, Alaska Peony Growers Association and the Chamber of Commerce.

Ms. Person spoke on the following:

- Vacant or run-down properties, challenging streetscapes, and a lack of connection

- Use Homer's arts, recreation and agriculture sectors to strengthen the physical, social, and economic fabric of our downtown core.
- We want locals and visitors to explore our historic downtown, experience its unique sense of place, and reinvigorate its economy
- Goals of the Project in 2017 are Branding of Homer as "City of Peonies", Pioneer Avenue sign, Peony festival - July 4th connection, Marketing in Chamber of Commerce visitor guide, More Gardens and partnering with Public Works, Realtor's placemaking grant; for Planning Commission to consider ahead DOT Repaving project, on street parking, safe walking zones, safe traffic flow, coherent branding and visual elements, vacant run-down buildings.

Brief comments from the commission regarding line of sight issues were made.

REPORTS

A. Staff Report PL 16-54, City Planner's Report

City Planner Abboud provided information on proposed changes to the Borough Planning Commission to comply with State of Alaska requirements and reported that Mayor Navarre attended the City Council meeting, answering questions from Council. City Planner Abboud expressed concern on how the Borough will make changes to meet the state's membership requirements.

Commissioner Venuti stated he attended the Assembly meeting on Tuesday evening and they voted on the issue but at the end of the meeting a request for reconsideration was issued. So they are back to where they started.

Commissioners were requested to volunteer to attend a Council meeting in the future to provide a report these dates were listed. The following dates were filled:

October 10th - Commissioner Bos (Appointed by Chair Stead)

October 24th - Commissioner Highland

November 28th - Commissioner Abrahamsen (Appointed by Chair Stead)

December 12th Commissioner Bradley (Appointed by Chair Stead)

PUBLIC HEARINGS

A. Staff Report PL 16-55, Ord. 16-xx City Planner review of Marijuana Establishment Applications from the State of Alaska

City Planner Abboud reported City Attorney Wells expressed concern on the time period being too short and while understanding the reason behind the proposed amendment by the Cannabis Advisory Commission to include a 15 day review period from the City Planner or designee, would like to see it changed to 30 days. City Planner Abboud stated that he had no problem with the 15 day period and would rather leave it up to council to make any amendments. He further explained that his understanding was that the state has a 60 day period but the attorney did not feel comfortable putting time limits in city code.

Chair Stead opened the public hearing. Seeing no public present to testify closed the public hearing.

HIGHLAND/STROOZAS - MOVED TO RECOMMEND CITY COUNCIL APPROVE THE DRAFT ORDINANCE REGARDING CITY PLANNER REVIEW OF MARIJUANA APPLICATIONS FROM THE STATE OF ALASKA.

There was a brief discussion on the 15 day turn around period.

VOTE. YES. NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PLAT CONSIDERATION

A. Staff Report PL 16-53, Miriams Ares 2016 Preliminary Plat

Chair Stead read the title into the record. City Planner Abboud referred to the map posted to the bulletin board behind him. City Planner Abboud touched on the following:

- the property is located near Lambert Lake
- the plat met all requirements with the exception of
 - Condition 1 - Display 15 foot utility easement adjacent to all rights of way
 - Condition 2 - Reflect that the City of Homer administers the development of flood prone areas and referenced current flood regulation document
 - Condition 3 - Add Plat note stating that prior to any development the City of Homer Planning Office should be contacted for current regulations and permits

Applicant provided historical information on the prior owners use and purchase of the property and that it was previously zoned with a cul de sac. Now it has a pole barn, garage, and one home.

Commissioner Venuti inquired about the number of gas assessments paid. Applicant responded that they paid only one.

Chair Stead called for public testimony, hearing none he closed the public testimony period.

STROOZAS/HIGHLAND - MOVED TO ADOPT PL 16-53 MIRIAM ARES WITH CONDITIONS 1THROUGH 3

There was a brief discussion on vacating Knapp Circle due to both properties front Kachemak Drive and suggested the properties owners can institute a shared driveway agreement. The owner provided information that the other property owner cut a driveway from the cul de sac.

VOTE. YES .NON-OBJECTION. UNANIMOUS CONSENT.

Motion carried.

PENDING BUSINESS

NEW BUSINESS

A. Staff Report PL 16-56, Election of Officers

Chair Stead opened the floor for nominations of Chair. Commissioner Highland asked if he was willing to continue serving as chair and he responded that he was not opposed. Commissioner Venuti seconded the nomination.

There were no further nominations.

The vote for Commissioner Stead for the office of Chair was unanimous.

Chair Stead opened the floor for nominations of vice chair. Commissioner Highland nominated Commissioner Bos. Commissioner Stroozas seconded the nomination.

There were no further nominations.

The vote for Commissioner Bos for the office of Vice Chair was unanimous.

INFORMATIONAL MATERIALS

A. City Manager's Report

COMMENTS OF THE AUDIENCE

COMMENTS OF STAFF

Deputy City Clerk complimented the Commissioners on how well their meetings are conducted.

City Planner Abboud had no comments.

COMMENTS OF THE COMMISSION

Commissioner Stroozas commented on the award of \$20,000 in lieu of the truck to a winner from Apple Valley, Minnesota and apologized for being delayed. He added an anecdotal comment regarding moving up to the Council seat and that he has one more meeting.

Commissioner Venuti commented that it took longer to get to Cooper Landing than to conduct the meeting.

Commissioner Highland commented she would miss Commissioner Stroozas on the commission and complimented that he did a fine job.

Chair Stead thanked everyone for attending the meeting and announced the date of the next meeting.

ADJOURN

There being no further business to come before the Commission, the meeting adjourned at 7:35 p.m. The next regular meeting is scheduled for WEDNESDAY, OCTOBER 5, 2016 at 6:30 p.m. in the City Hall Cowles Council Chambers. There is a worksession at 5:30 p.m. prior to the meeting.

Renee Krause, CMC, Deputy City Clerk

Approved: _____



City of Homer

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HOMER ADVISORY PLANNING COMMISSION

Approved CUP 16-04 at the Meeting of September 14, 2016

RE: Conditional Use Permit (CUP) 16-04
Address: 4060 Heath Street

Legal Description: T6S R13W SEC 17 & 20 Seward Meridian HM 0870011 NEW HOMER HIGH SCHOOL NO 2 TRACT 1-B.

DECISION

Introduction

The City of Homer (the “Applicant”) applied to the Homer Advisory Planning Commission (the “Commission”) for a Conditional Use Permit (CUP) per Homer City Code HCC 21.18.030(j), “more than one building containing a permitted principle use on a lot,” and 21.18.030(e), “public utility facilities and structures.”

The application was scheduled for a public hearing as required by Homer City Code 21.94 before the Commission on September 7, 2016. Due to an error, the hearing was not published in the newspaper, but was sent to 20 property owners of 27 parcels, the Commission postponed the hearing until a special meeting on September 14, 2016. Notice of the public hearing for the September 14th meeting was published in the local newspaper and sent to 20 property owners of 27 parcels.

At the September 14, 2016 meeting of the Commission, the Commission voted to approve CUP 16-05 with four Commissioners present and all four Commissioners voting to approve CUP 16-05.

Evidence Presented

City Planner Abboud reviewed the staff report. There was no applicant presentation.

There was no public testimony.

Findings of Fact

After careful review of the record, the Commission approves Condition Use Permit 16-04.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030 and 21.71.040.

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: HCC 21.18.030(e) authorizes a Public Utility Facility and Structure as a conditional use in the Central Business District and (j) More than one building containing a permitted principal use on a lot.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Finding 2: The Public Safety complex, in its current location, is an appropriate land use within the central business district and is compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Finding 3: A storage facility is not expected to negatively impact the adjoining properties greater than that of other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Finding 4: This proposal is compatible with the surrounding land uses.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Finding 5: Existing public, water, sewer, and fire services are adequate to serve the additional structure.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Finding 6: The proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Finding 7: The existing Public Safety complex and the proposed equipment shed will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Finding 8: Gaining a CUP and zoning permit which includes Fire Marshall review will comply with applicable regulations.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Finding 9: No evidence has been found that the proposal is contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with all applicable provisions of the Community Design Manual.

Finding 10: Outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary.
- 2. Fences and walls:** No specific conditions deemed necessary.
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.

Conclusion: Based on the foregoing findings of fact and law, Conditional Use Permit 2016-04 is hereby approved, with Findings 1-10.

Date Chair, Don Stead

Date City Planner, Rick Abboud

NOTICE OF APPEAL RIGHTS

Pursuant to Homer City Code, Chapter 21.93.060, any person with standing that is affected by this decision may appeal this decision to the Homer Board of Adjustment within thirty (30) days of the date of distribution indicated below. Any decision not appealed within that time shall be final. A notice of appeal shall be in writing, shall contain all the information required by Homer City Code, Section 21.93.080, and shall be filed with the Homer City Clerk, 491 East Pioneer Avenue, Homer, Alaska 99603-7645.

CERTIFICATION OF DISTRIBUTION

I certify that a copy of this Decision was mailed to the below listed recipients on _____, ____ 2016. A copy was also delivered to the City of Homer Planning Department and Homer City Clerk.

Date Dotti Harness-Foster, Planning Technician

Katie Koester, City Manager
491 E Pioneer Avenue
Homer, AK 99603



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HOMER ADVISORY PLANNING COMMISSION

Approved CUP 16-05 at the Meeting of September 14, 2016

RE: Conditional Use Permit (CUP) 16-05
Address: 5185 Slavin Drive

Legal Description: T 6S R 13W SEC 10 Seward Meridian HM 0000587 SCENIC VIEW SUB TRACT A THAT POR TION COMMENCING AT THE SECTION CORNER COMMON TO SEC 9 & 10 & 15 & 16 TH EAST 132 0.00 FT TH NORTH 416.00 TH WEST 104.00 FT TH NORTH 14.00 FT TO THE POB TH NORTH 432.00 FT TH EAST 104.00 FT TH S 40 DEG 41 MIN 30 SEC E 411.49 FT TH SOUTH 120.0 0 FT TH WEST 372.28 FT TO THE POB.

DECISION

Introduction

Fred Pheil (the “Applicant”) applied to the Homer Advisory Planning Commission (the “Commission”) for a Conditional Use Permit (CUP) per Homer City Code HCC 21.12.030(m), “more than one building containing a permitted principle use on a lot,” to build an additional cabin on his property. Mr. Pheil previously received approval for CUP 15-04, which authorized two cabins in addition to a single-family residence. CUP 16-04 amends CUP 15-04 to allow a single-family residence and three cabins, for a total of four detached dwelling units on the parcel.

The application was scheduled for a public hearing as required by Homer City Code 21.94 before the Commission on September 7, 2016. Due to an error that the hearing was not published in the newspaper, but was sent to 17 property owners of 25 parcels, the Commission postponed the hearing until a special meeting on September 14, 2016. Notice of the public hearing for the September 14th meeting was published in the local newspaper and sent to 17 property owners of 25 parcels.

At the September 14, 2016 meeting of the Commission, the Commission voted to approve CUP 16-05 with four Commissioners present and all four Commissioners voting to approve CUP 16-05.

Evidence Presented

City Planner Abboud reviewed the staff report. Fred Pfeil said he was available for questions.

Neighboring property owner Jackie Morrison submitted a letter to the Planning Commission, which was provided as a laydown in their meeting packet. She was concerned with the encroachment of a driveway onto her property and about the accuracy of the public notice.

Findings of Fact

After careful review of the record, the Commission approves Condition Use Permit 16-05, amending CUP 15-04 to allow a total of four single-family dwelling units at 5185 Slavin Drive.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.030 and 21.71.040.

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: HCC 21.12.020(a) authorizes single family dwellings. HCC 21.12.030(m) authorizes more than one building containing a permitted principal use on a lot as a conditional use in the Rural Residential District. HCC 21.12.040(a)(3) allows for one dwelling unit per 10,000 square feet of lot area when served by city water and sewer.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Finding 2: The residential use and proposed new dwelling on a 2.73 acre lot provides low density development that meets the district density requirement and is compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Finding 3: A fourth dwelling unit on the property is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Finding 4: The proposed cabin is a similar use to the other single family homes found in the adjacent and surrounding area.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Finding 5: Existing public, water, sewer, road maintenance and police and fire services are adequate to serve the additional dwelling.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Finding 6: Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Finding 7: The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area and the city as a whole when all applicable standards are met as required by city code.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Finding 8: The proposal will comply with all applicable regulations and conditions when the permitting process is successfully navigated as provided in the CUP and permitting process.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Finding 9: The proposal is not contrary to the applicable land use goals and objects of the Comprehensive Plan. Building a new dwelling unit meets the goal of increasing residential density in areas served by city water and sewer.

j. The proposal will comply with all applicable provisions of the Community Design Manual.

Finding 10: Outdoor lighting must be down lit per the provisions of the CDM.

In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary.
- 2. Fences and walls:** No specific conditions deemed necessary.
- 3. Surfacing of parking areas:** No specific conditions deemed necessary.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.

9. Control of noise, vibration, odors or other similar nuisances: No specific conditions deemed necessary.

10. Limitation of time for certain activities: No specific conditions deemed necessary.

11. A time period within which the proposed use shall be developed: No specific conditions deemed necessary.

12. A limit on total duration of use: No specific conditions deemed necessary.

Conclusion: Based on the foregoing findings of fact and law, Conditional Use Permit 2016-05 is hereby approved, with Findings 1-10.

Date Chair, Don Stead

Date City Planner, Rick Abboud

NOTICE OF APPEAL RIGHTS: Pursuant to Homer City Code, Chapter 21.93.060, any person with standing that is affected by this decision may appeal this decision to the Homer Board of Adjustment within thirty (30) days of the date of distribution indicated below. Any decision not appealed within that time shall be final. A notice of appeal shall be in writing, shall contain all the information required by Homer City Code, Section 21.93.080, and shall be filed with the Homer City Clerk, 491 East Pioneer Avenue, Homer, Alaska 99603-7645.

CERTIFICATION OF DISTRIBUTION

I certify that a copy of this Decision was mailed to the below listed recipients on _____, ____ 2016. A copy was also delivered to the City of Homer Planning Department and Homer City Clerk.

Date Shelly Rosencras, Planning Clerk

Fred Pheil
PO Box 1625
Homer AK 99603

Katie Koester, City Manager
491 E Pioneer Avenue
Homer, AK 99603



City of Homer

www.cityofhomer-ak.gov

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(f) 907-235-3118

STAFF REPORT PL 16-57

TO: Homer Advisory Planning Commission
FROM: Rick Abboud, City Planner
DATE: October 5, 2016
SUBJECT: City Planner's Report

City Council meeting of October 10th

The council will introduce the ordinance that establishes that the City Planner review all marijuana industry related applications for compliance with city code within 15 days of receiving notice from the state. Public Hearing and Second Reading is scheduled for the October 24th meeting of the council.

The following is a list of City Council meetings, scheduled the second and fourth Monday of the month, through the end of 2016. I will coordinate with the presenter before the meeting to review key topics. Some were chosen that were not at the meeting, please review for your availability

October 10, 2016: Tom Bos

October 24, 2016: Roberta Highland

(No meeting scheduled for November 14, 2016)

November 28, 2016: Syverine Abrahamson

December 12, 2016: Savanna Bradley

The Alaska Planning Conference will be in Anchorage November 13th for Planning Commissioner Training. I would like to help you attend if you are able. Please let me know if this is a possibility.

Activities: I am attempting to start further work on updating the policy manuals for HART and HAWSP, aside from our recommendations, and I will be getting back to the Comprehensive Plan update. I am hoping to go into the Land Use section in later fall and winter. One concern I have is the need for larger lots for the support of commercial activity. We have had some inquiries from those needed over an acre to do commercial activities that do not fit into the Central Business District. Some development is planned in the East End Mixed Use District, but other than that, we do not have much land available in General Commercial 1 District.



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Staff Report PL 16-60

TO: Homer Advisory Planning Commission
FROM: Rick Abboud AICP, City Planner
DATE: October 5, 2016
SUBJECT: CUP 16-06, Medical Clinic of more than 8000 square feet in the Residential Office District – Supplemental

Synopsis The applicant proposes an expansion of approximately 5000ft. to the existing medical clinic. A Conditional Use Permit (CUP) is required per HCC 21.16.030(d), Medical Clinic & HCC 21.16.030(e), more than 8,000 square feet of building area.

Applicants: Scott Curtin, Kenai Peninsula Borough
144 N Binkley Street
Soldotna, AK 99669

Location: 4136 Bartlett Street
Parcel ID: 17506212
Size of Existing Lot: 1.8 acres
Zoning Designation: Residential Office
Existing Land Use: Medical Clinic
Surrounding Land Use: North: Residential/Vacant
South: Residential/Vacant
East: Residential
West: Office/Residential

Wetland Status: Wetlands may be located on the northeastern corner of this parcel.
Flood Plain Status: Not in a mapped floodplain.
BCWPD: Not within the Bridge Creek Watershed Protection District
Utilities: Public utilities service the site.
Public Notice: Notice was sent to 46 property owners of 39 parcels as shown on the KPB tax assessor rolls.

ANALYSIS: The applicant is proposing an addition of approximately 5000 square feet to the current medical clinic for an approximate building area of 10,000 square feet. A CUP is

needed for a medical clinic in the Residential Office district per HCC 21.16.030(d) and more than 8,000 square feet of building area per HCC 21.16.040(e).

At the Planning Commission meeting of September 14th, the Commission scheduled a second public hearing in order to give the applicant time to respond to the recommendation of designing a storm water plan for the site and to produce a parking plan that is compliant with Homer City Code.

Parking: The parking plan now provides additional spaces to support the anticipated additional traffic associated with doubling the size of the clinic. In addition, the plan now designates landscaped dividers and buffer areas. Buffering may be accomplished by many means, including retaining existing vegetation, plantings, fence, or other materials. The property directly to the east currently enjoys a forested buffer. West Danview Avenue is basically undeveloped and forested in alders. Sometime in the future the ROW may be developed and a buffer would be desired. If existing vegetation is removed, it should be replaced.

Drainage/storm water: The applicant has submitted a design with a preliminary review by the City Engineer. The storm water plan is designed to consider the runoff from the site at total development. The parking lot is designed to drain the water away from the neighboring property to the southeast. The storm water plan looks like it should accomplish the goal of limiting the amount of runoff to neighboring properties.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.020, General conditions, and establishes the following conditions:

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: HCC 21.14.030(d) authorizes medical clinics and HCC 21.16.040(e) authorizes more than 8,000 square feet of building area as conditional uses in the Residential Office District.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Purpose: The Residential Office District is primarily intended for a mixture of low-density to medium-density residential uses and certain specified businesses and offices, which may include professional services, administrative services and personal services, but generally not including direct retail or wholesale transactions except for sales that are incidental to the provision of authorized services. A primary purpose of

the district is to preserve and enhance the residential quality of the area while allowing certain services that typically have low traffic generation, similar scale and similar density. The district provides a transition zone between commercial and residential neighborhoods.

Analysis: The Residential Office District is the home of the South Peninsula Hospital and is supporting a growing number of allied services. The clinic is found in relative close proximity to the hospital and adjacent to other healthcare providers. The entrance to the parking lot is found on a collector street that was designed to handle traffic to the hospital. The lot is 1.8 acres, which can support ten residences according to density requirements of the Residential Office District. It is appropriate that this district and location, in specific, allows the clustering of medical services.

Finding 2: The use and structure is compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Analysis: Many uses in the Residential Office district have greater negative impacts than would be realized from a medical clinic. Hospitals and heliports would have a greater impact on nearby property values. Assisted living, group care, religious, cultural and fraternal assembly would generate a good deal of traffic and would not limited hours of operation.

Finding 3: A medical clinic is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Analysis: Surrounding uses include medical facilities and residences. The clinic has been in operation from the early eighties when there were fewer medical facilities located nearby. Also nearby is the hospital, which shares in the care of many of the same patients and utilizes some of the same medical personnel. It is a benefit for Homer to cluster medical services together not only for the benefit of those receiving services, but for the city in general, as sprawl is inhibited.

Finding 4: The proposal is compatible with existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Analysis: The site is well served with city water and sewer, natural gas, paved road, sidewalks and fire and police services.

Finding 5: Existing public services are adequate to serve the medical clinic.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Analysis: The clinic is located on a large lot adjacent to a collector street that leads to the hospital. Traffic is generally confined to the collector and neighboring local streets should not experience a significant increase in traffic. Hours of operation are limited.

Finding 6: The Commission finds the proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Analysis: The services provided by the medical clinic certainly contribute to the health safety and welfare of the entire community. The lot is well positioned on a collector route which has been developed as a route to the hospital.

Finding 7: The proposal is not unduly detrimental to health, safety, or welfare.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Analysis: Gaining a CUP along the zoning permit process addresses the applicable regulations.

Finding 8: The proposal will comply with applicable regulations.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Analysis: Goals of the Land Use Chapter of the Homer Comprehensive Plan include encouraging infill and minimizing impacts of public facilities (Chapter 4, Goal 1). The proposal grows the current site, as opposed to introducing an entire new facility. It is conveniently located nearby to allied services.

Finding 9: No evidence has been found that the proposal is contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Analysis: The outdoor lighting standards are applicable the Residential Office District.

Finding 10: Outdoor lighting must be down lit per HCC 21.59.030 and the CDM.

HCC 21.71.040(b). b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** A storm water plan shall be developed and installed per HCC 21.75 (**Condition 1**).
- 2. Fences and walls:** No specific conditions deemed necessary
- 3. Surfacing of parking areas:** Pave parking lot (**Condition 2**) and provide pedestrian path to sidewalk on Bartlett Street (**Condition 3**).
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** If existing vegetation in buffer areas surrounding the parking lot is removed, it shall be replaced with suitable plantings or other buffer materials (**Condition 4**).
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** Dumpster shall be concealed on three sides (**Condition 5**).

PUBLIC WORKS COMMENTS: There is an existing 1 ½” waterline that will need to be abandoned at the main. With that said, I would recommend HMC move their proposed 4” DIP line to that location rather than dig the road up twice.....

PW would like to see their proposal for materials used connecting to the mainline.

They need to be aware that per COH standards they will be required to pressure test and disinfect the line before use.

FIRE DEPARTMENT COMMENTS: No FD issues. Will require FM [Fire Marshal] review.

PUBLIC COMMENTS: Tom Schroeder, southeast neighbor at 254 W Fairview Ave. Mr. Schroeder came to my office and expressed concern about additional runoff might affect his property. He wants the applicant to direct all runoff into the existing drainage easement that runs adjacent to Bartlett and then Fairview to the east to his property. He suggests that the parking lot be graded to move all runoff to the west and that snow storage be moves to the west side of the lot so it does not drain on to his property.

STAFF COMMENTS/RECOMMENDATIONS:

Planning Commission approve CUP **Staff Report PL 16-60** with findings 1-10 and the following conditions.

1. Develop and install storm water plan per HCC 21.75.
2. Parking area shall be paved.
3. A pedestrian path shall be established to Bartlett Street.
4. If native vegetation buffering residential properties is removed it shall be replaced with suitable plantings or materials.
5. Dumpster shall be concealed on three sides.

Attachments

New drawings, date stamped Sept. 29, 2016 and Sept. 30, 2016

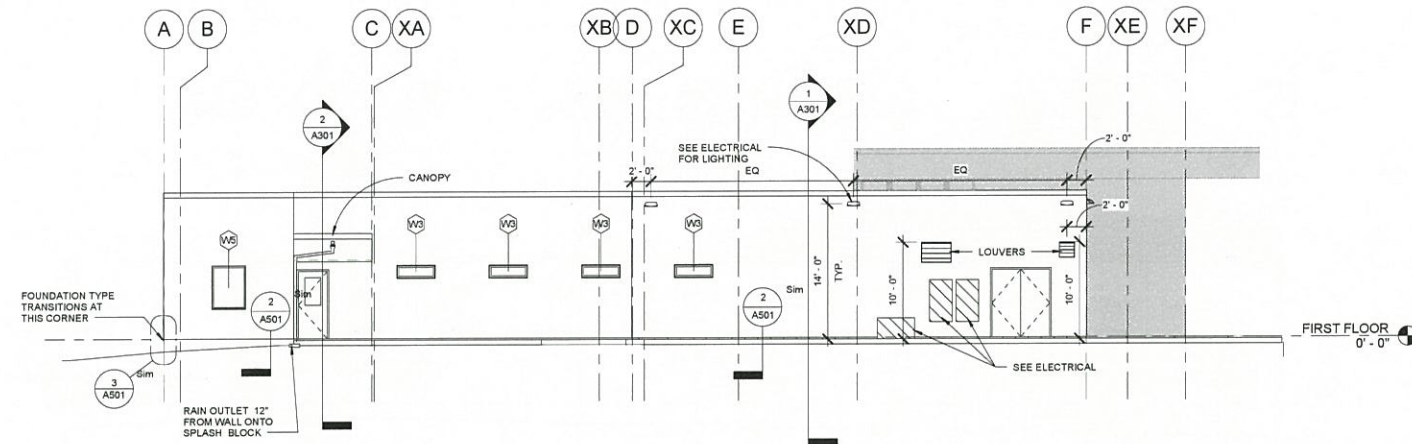
Public Notice

Laydown testimony from meeting of Sept. 14, 2016

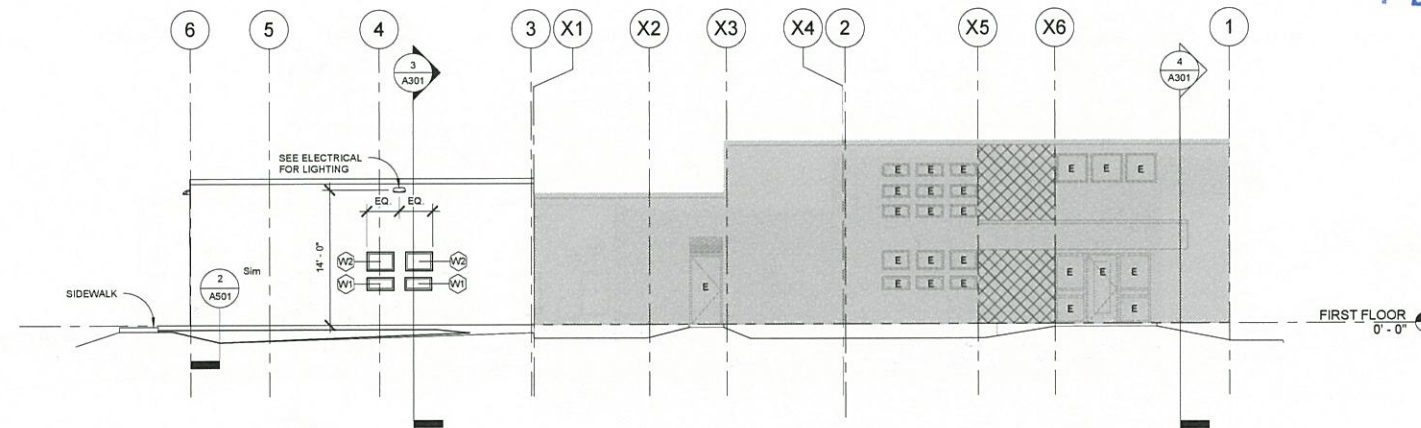
Staff Report 16-50 dated September 14, 2016

ELEVATION SHEET NOTES

1. EXISTING BUILDING SHOWN IN GRAY
2. NEW SIDING WILL MATCH OR BE SIMILAR TO EXISTING SIDING. FINISH SELECTION TBD BY OWNER



1 EAST
1/8" = 1'-0"



2 NORTH
1/8" = 1'-0"

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SEP 30 2016
CITY OF HOMER
PLANNING/ZONING

KENAI PENINSULA BOROUGH
**SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION**
HOMER, ALASKA

**LIVINGSTON
STONE**
ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN
3900 ARCTIC BOULEVARD SUITE 301 ANCHORAGE ALASKA 99503



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PROJECT NO. 1516.00
DATE 8-16-16
DRAWN BY: HF
REVIEWED BY: RJ

CONSTRUCTION DOCUMENTS
SHEET TITLE
ELEVATIONS

SHEET NO.
A201

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SEP 30 2016

CITY OF HOMER
PLANNING/ZONING

ELEVATION SHEET NOTES

- EXISTING BUILDING SHOWN IN GRAY
- NEW SIDING WILL MATCH OR BE SIMILAR TO EXISTING SIDING. FINISH SELECTION TBD BY OWNER.

KENAI PENINSULA BOROUGH
SOUTH PENINSULA HOSPITAL
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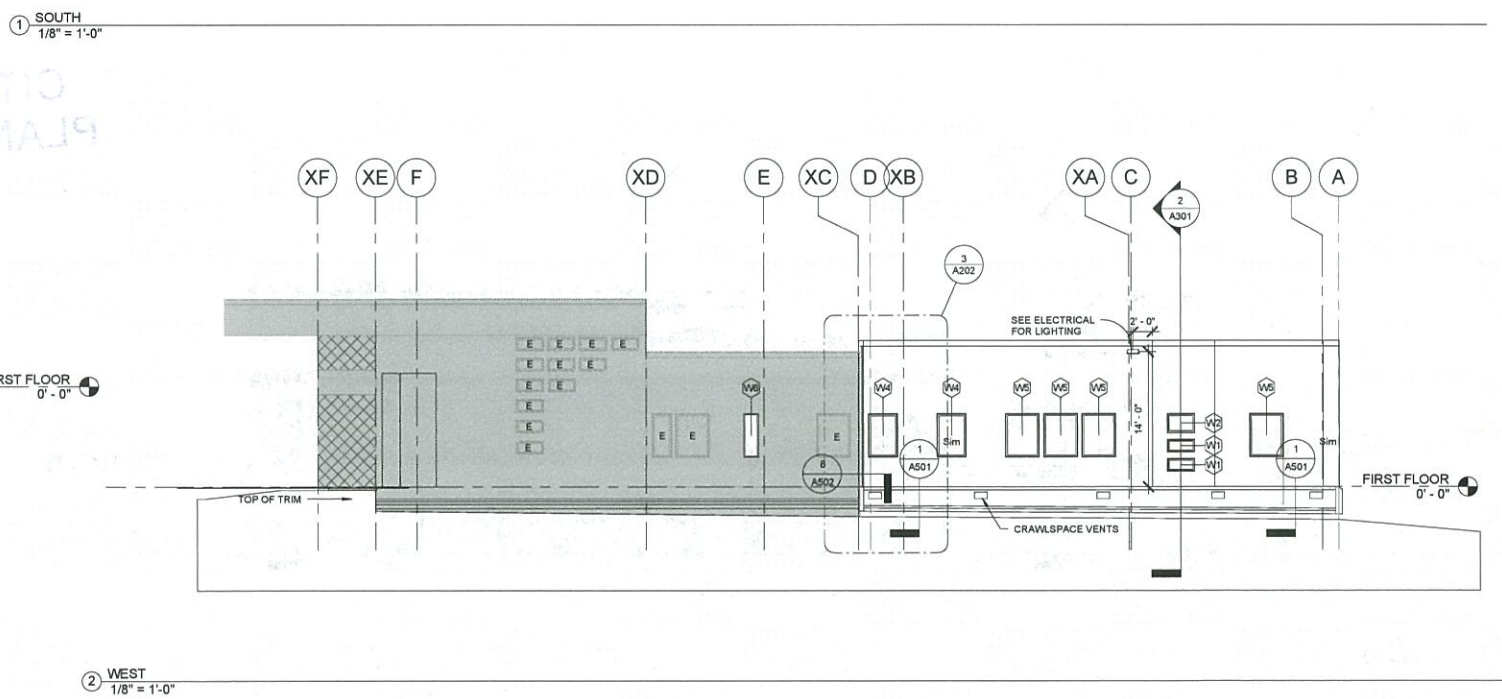
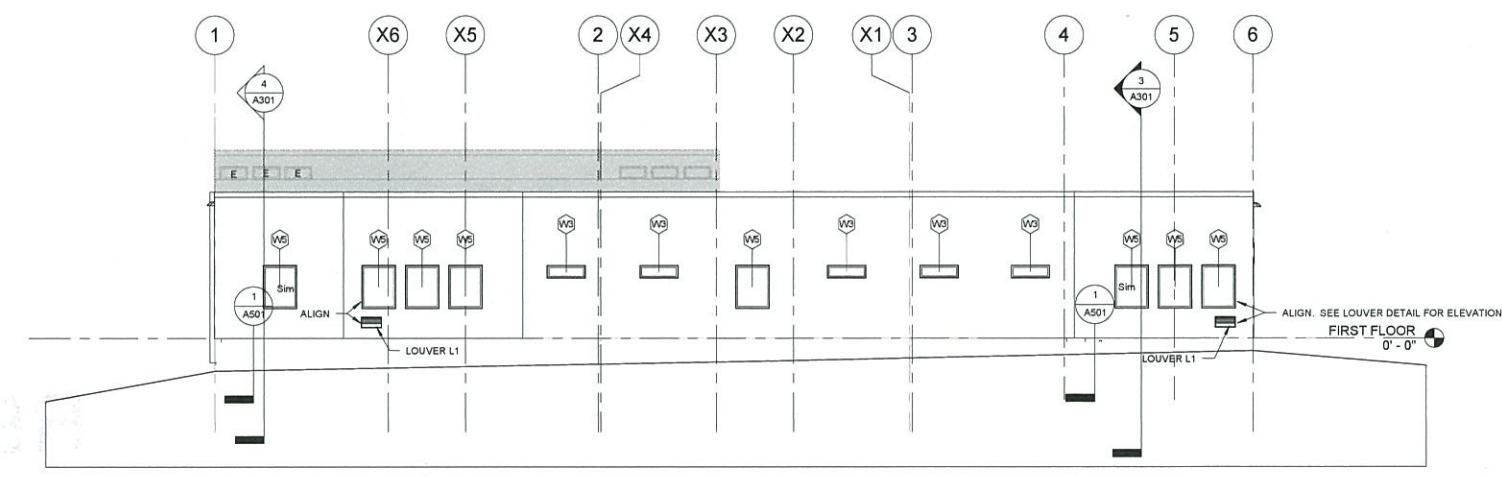
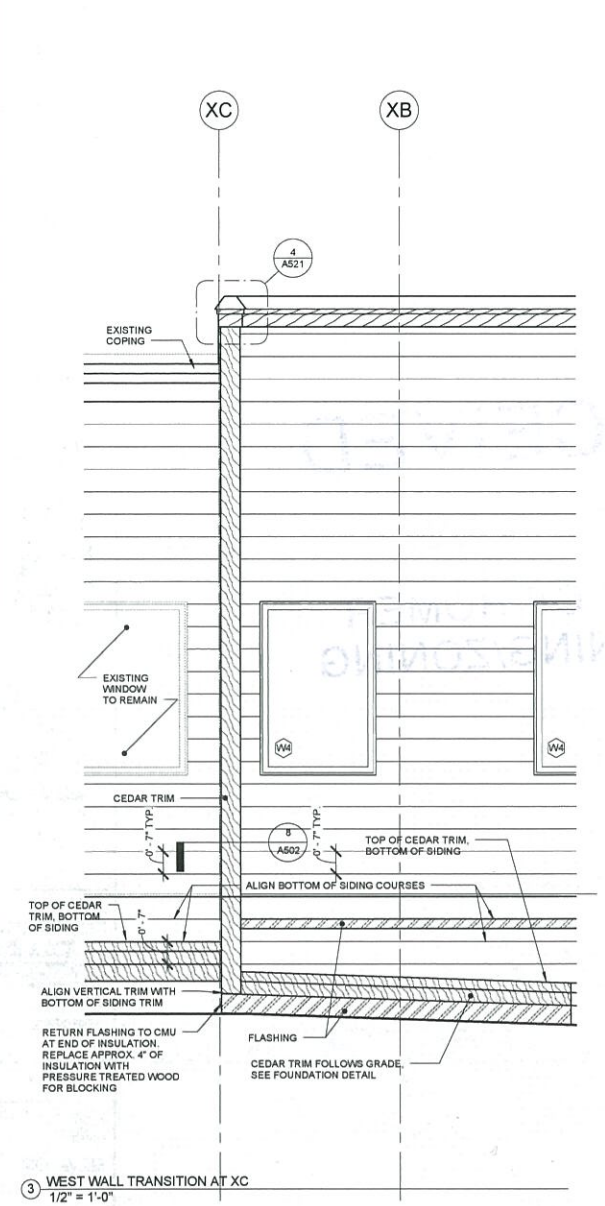


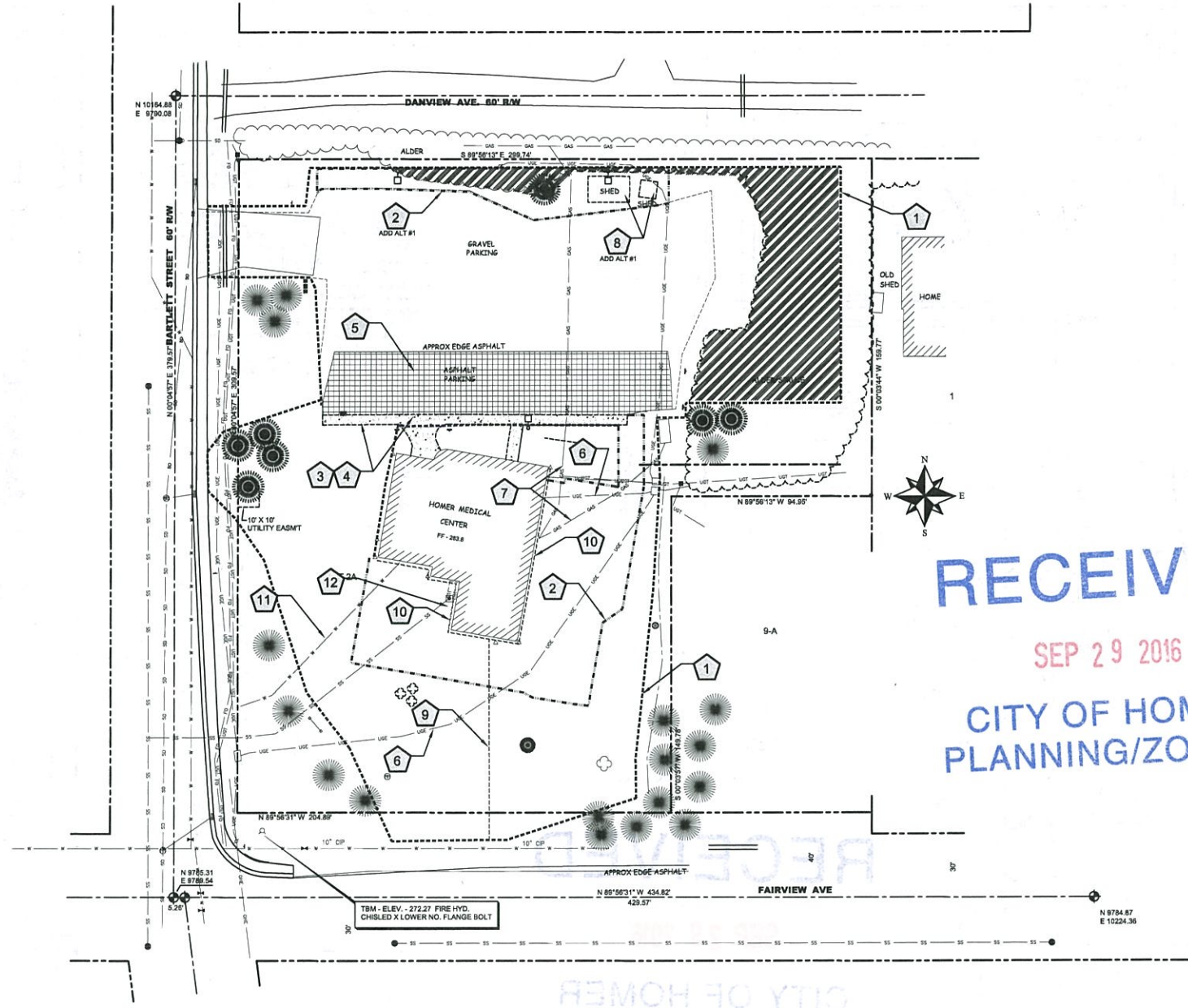
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PROJECT NO. 1516.00
DATE 8-16-16
DRAWN BY: HF
REVIEWED BY: RJ

CONSTRUCTION DOCUMENTS
SHEET TITLE
ELEVATIONS

SHEET NO.
A202





A
C1.1
DEMOLITION PLAN
0 30' 60'
GRAPHIC SCALE 1" = 30'

GENERAL NOTES

- 1.) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ACTUAL DEPTH, NUMBER AND LOCATION UNKNOWN. BURIED UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, IDENTIFYING, AND WORKING AROUND ALL UTILITIES WITHIN THE PROJECT LIMITS AT NO ADDITIONAL COST TO THE OWNER. CALL FOR LOCATES PRIOR TO EXCAVATION, ALASKA DIGLINE 1-800-478-3121.
- 2.) THE FOLLOWING ALASKA STATUTES APPLY TO WORK NEAR OVERHEAD ELECTRIC LINES:
AS 18.60.670 PROHIBITION AGAINST PLACEMENT OF EQUIPMENT NEAR ELECTRICAL POWER LINES AND CONDUCTORS.
A PERSON INDIVIDUALLY OR THROUGH AN AGENT OR EMPLOYEE MAY NOT
(1) PLACE ANY TYPE OF TOOL, EQUIPMENT, MACHINERY OR MATERIAL THAT IS CAPABLE OF LATERAL, VERTICAL OR SWINGING MOTION, WITHIN 10' OF HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR;
(2) STORE, OPERATE, ERECT, MAINTAIN, MOVE OR TRANSPORT TOOLS, MACHINERY, EQUIPMENT, SUPPLIES, MATERIALS, APPARATUS, BUILDINGS, OR OTHER STRUCTURES WITHIN 10 FEET OF A HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR.
AS 18.60.680 ANY WORK WITHIN MINIMUM DISTANCE STATED ABOVE SHALL REQUIRE CONTACT WITH HEA TO INSTALL TEMPORARY MECHANICAL BARRIERS, TEMPORARY DE-ENERGIZATION AND GROUNDING, OR TEMPORARY RAISING OF CONDUCTORS.
- 3.) THE CONTRACTOR SHALL RESTORE ALL DISTURBED PROPERTY OUTSIDE LIMITS OF WORK TO ORIGINAL CONDITIONS.
- 4.) CONTRACTOR SHALL ADHERE TO LOCAL REQUIREMENTS FOR NOISE, HOURS OF OPERATION, AND DUST CONTROL.
- 5.) NEW ELEVATIONS ARE TO TOP OF CONCRETE, CURB, ASPHALT, FLOW LINE, OR GENERAL FINISH GRADE UNLESS NOTED OTHERWISE.
- 6.) EXCAVATION LIMITS SHALL BE AS FOLLOWS:
BUILDING: 4 FT BEYOND EDGE OF FOOTING HORIZONTAL AND 4-FT BELOW FOOTINGS TYPICAL.
SITE CONCRETE: 2-FT BEYOND EDGE OF CONCRETE HORIZONTAL AND 2.5-FT BELOW CONCRETE.
ASPHALT PAVING: 2-FT BEYOND EDGE OF PAVEMENT HORIZONTAL AND 2.5-FT BELOW ASPHALT.
- 7.) DE-WATERING SHALL BE REQUIRED FOR EXCAVATION.
- 8.) TOPSOIL & SEED ALL AREAS DISTURBED BY CONSTRUCTION AND AS SHOWN ON THE PLAN.

DEMOLITION NOTES

- 1 LIMITS OF DEMOLITION FOR HOMER MEDICAL CLINIC EXPANSION.
- 2 LIMITS OF EXCAVATION, REMOVE ALL FROST SUSCEPTIBLE SOILS BENEATH PROPOSED BUILDING FOUNDATION, CONCRETE SIDEWALKS, AND ASPHALT PAVING PER NOTE 6 OF THE GENERAL NOTES.
- 3 REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
- 4 REMOVE AND DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- 5 SAW-CUT, REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT. RE-GRADE GRAVEL SURFACE AS REQUIRED.
- 6 REMOVE AND RELOCATE EXISTING 3-PHASE ELECTRICAL SERVICE LINE PER ELECTRICAL.
- 7 REMOVE AND RELOCATE EXISTING NATURAL GAS SERVICE LINE PER MECHANICAL.
- 8 ADDITIVE ALTERNATE #1: REMOVE WOOD SHEDS FROM WORK AREA, COORDINATE WITH OWNER'S REPRESENTATIVE FOR PLACEMENT ON SITE AS SHOWN PER SITE PLAN.
- 9 REMOVE AND DISPOSE OF ± 90-LF PVC FOOTING DRAIN DISCHARGE PIPE AND RE-CONNECT NEW PIPE TO FOOTING DRAIN AROUND PERIMETER OF NEW ADDITION.
- 10 REMOVE AND DISPOSE OF ± 185-LF PVC FOOTING DRAIN AND RE-CONNECT TO NEW FOOTING DRAIN AROUND PERIMETER OF NEW ADDITION.
- 11 EXISTING WATER SERVICE SHALL REMAIN IN SERVICE DURING THE ENTIRE DURATION OF THE PROJECT. ABANDON EXISTING SERVICE WHEN NEW WATER SERVICE IS OPERATING.
- 12 REMOVE AND DISPOSE OF EXISTING EXIT STAIRS. (WOOD CONSTRUCTION)

DEMOLITION LEGEND

- CLEARING AND GRUBBING REQUIRED ADDITIVE ALTERNATE #1
- SAW-CUT, REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT
- SAW-CUT, REMOVE AND DISPOSE OF EXISTING CONCRETE
- EXISTING LUMINARE
- LIMITS OF DEMOLITION
- LIMITS OF EXCAVATION
- DEMOLITION NOTE

KENAI PENINSULA BOROUGH
**SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION**
HOMER, ALASKA

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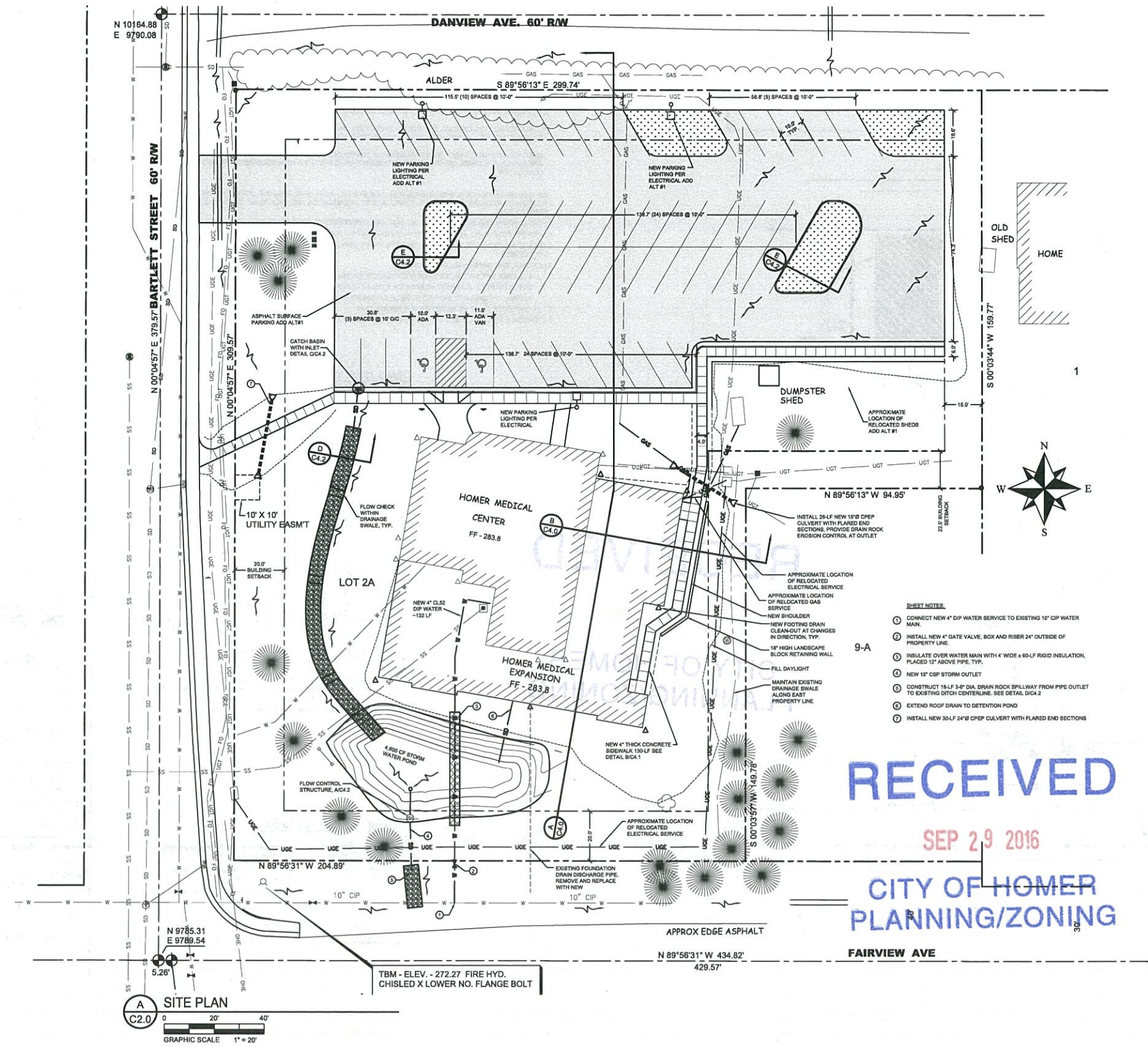
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PROJECT NO. 1516.00
DRAWN BY: BWL
REVIEWED BY: BWL
DATE: AUGUST 16, 2016

CONSTRUCTION DOCUMENTS
TITLE
**DEMOLITION
PLAN**

SHEET NO.
C1.1



GENERAL NOTES

- 1.) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ACTUAL DEPTH, NUMBER AND LOCATION UNKNOWN. BURIED UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, IDENTIFYING, AND WORKING AROUND ALL UTILITIES WITHIN THE PROJECT LIMITS AT NO ADDITIONAL COST TO THE OWNER. CALL FOR LOCATES PRIOR TO EXCAVATION, ALASKA DIGLINE 1-800-478-3121.
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 - (1) PLACE ANY TYPE OF TOOL, EQUIPMENT, MACHINERY OR MATERIAL THAT IS CAPABLE OF LATERAL, VERTICAL OR SWINGING MOTION, WITHIN 10' OF HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR;
 - (2) STORE, OPERATE, ERECT, MAINTAIN, MOVE OR TRANSPORT TOOLS, MACHINERY, EQUIPMENT, SUPPLIES, MATERIALS, APPARATUS, BUILDINGS, OR OTHER STRUCTURES WITHIN 10 FEET OF A HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR.
 - AS 18.60.680 ANY WORK WITHIN MINIMUM DISTANCE STATED ABOVE SHALL REQUIRE CONTACT WITH HEA TO INSTALL TEMPORARY MECHANICAL BARRIERS, TEMPORARY DE-ENERGIZATION AND GROUNDING, OR TEMPORARY RAISING OF CONDUCTORS.
- 3.) THE CONTRACTOR SHALL RESTORE ALL DISTURBED PROPERTY OUTSIDE LIMITS OF WORK TO ORIGINAL CONDITIONS.
- 4.) CONTRACTOR SHALL ADHERE TO LOCAL REQUIREMENTS FOR NOISE, HOURS OF OPERATION, AND DUST CONTROL.
- 5.) NEW ELEVATIONS ARE TO TOP OF CONCRETE, CURB, ASPHALT, FLOW LINE, OR GENERAL FINISH GRADE UNLESS NOTED OTHERWISE.
- 6.) TOPSOIL & SEED ALL AREAS DISTURBED BY CONSTRUCTION AND AS SHOWN ON THE PLAN.
- 7.) CONTRACTOR SHALL COORDINATE WITH THE CITY OF HOMER PUBLIC WORKS FOR WATER SERVICE CONNECTION.

LEGEND

EXISTING	NEW	
---	---	PROPERTY LINE
---	---	BASEMAP PROPERTY LINES
---	---	EASEMENT LINE
---	---	BUILDING SETBACK
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	UNDERGROUND GAS
---	---	UNDERGROUND TELEPHONE
---	---	UNDERGROUND FIBER OPTIC
---	---	POWER POLE W/ GUY ANCHOR
---	---	SIGN
---	---	GROUND WATER MONITORING WELL
---	---	TELEPHONE BOX
---	---	ELEVATION CONTOUR
---	---	SPOT ELEVATION
---	---	EDGE OF ASPHALT
---	---	WATERLINE W/ VALVE
---	---	FIRE HYDRANT
---	---	SEWER LINE W/ MANHOLE
---	---	STORM DRAIN W/ MANHOLE
---	---	CLEANOUT
---	---	FOOTING DRAIN CLEANOUT
---	---	CONCRETE
---	---	CONCRETE - HEATED
---	---	ASPHALT PAVEMENT
---	---	TOPSOIL & SEEDING
---	---	CURB & GUTTER W/ TYPE
---	---	STRUCTURE
---	---	TREELINE
---	---	CULVERT
---	---	LIGHT BOLLARD
---	---	LIGHT POLE
---	---	CURB STORM INLET
---	---	SIGN
---	---	DECIDUOUS TREE
---	---	SPRUCE TREE
---	---	RECOVERED MONUMENT
---	---	RECOVERED REBAR CAP
---	---	DRAINAGE DIRECTION

- SHEET NOTES:**
1. CONNECT NEW 4" DIP WATER SERVICE TO EXISTING 10" CIP WATER MAIN.
 2. INSTALL NEW 4" GATE VALVE, BOX AND RISER 24" OUTSIDE OF PROPERTY LINE.
 3. INSULATE OVER WATER MAIN WITH 4" WIDE x 60-LF RIGID INSULATION, PLACED 12" ABOVE PIPE, TYP.
 4. NEW 1" CIP STORM OUTLET
 5. CONSTRUCT 14.5" DIA. DRAIN ROCK SPILLWAY FROM PIPE OUTLET TO EXISTING DITCH CENTERLINE. SEE DETAIL DICA.2
 6. EXTEND ROOF DRAIN TO DETENTION POND
 7. INSTALL NEW 30-LF 24" CIP CULVERT WITH FLARED END SECTIONS

RECEIVED

SEP 29 2016

CITY OF HOMER
PLANNING/ZONING



KENAI PENINSULA BOROUGH

SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION

HOMER, ALASKA



**LIVINGSTON
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FAX: 907-285-1006



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&
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CE - 11394
Professional Engineer



STATE OF ALASKA
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CE - 11394
Professional Engineer

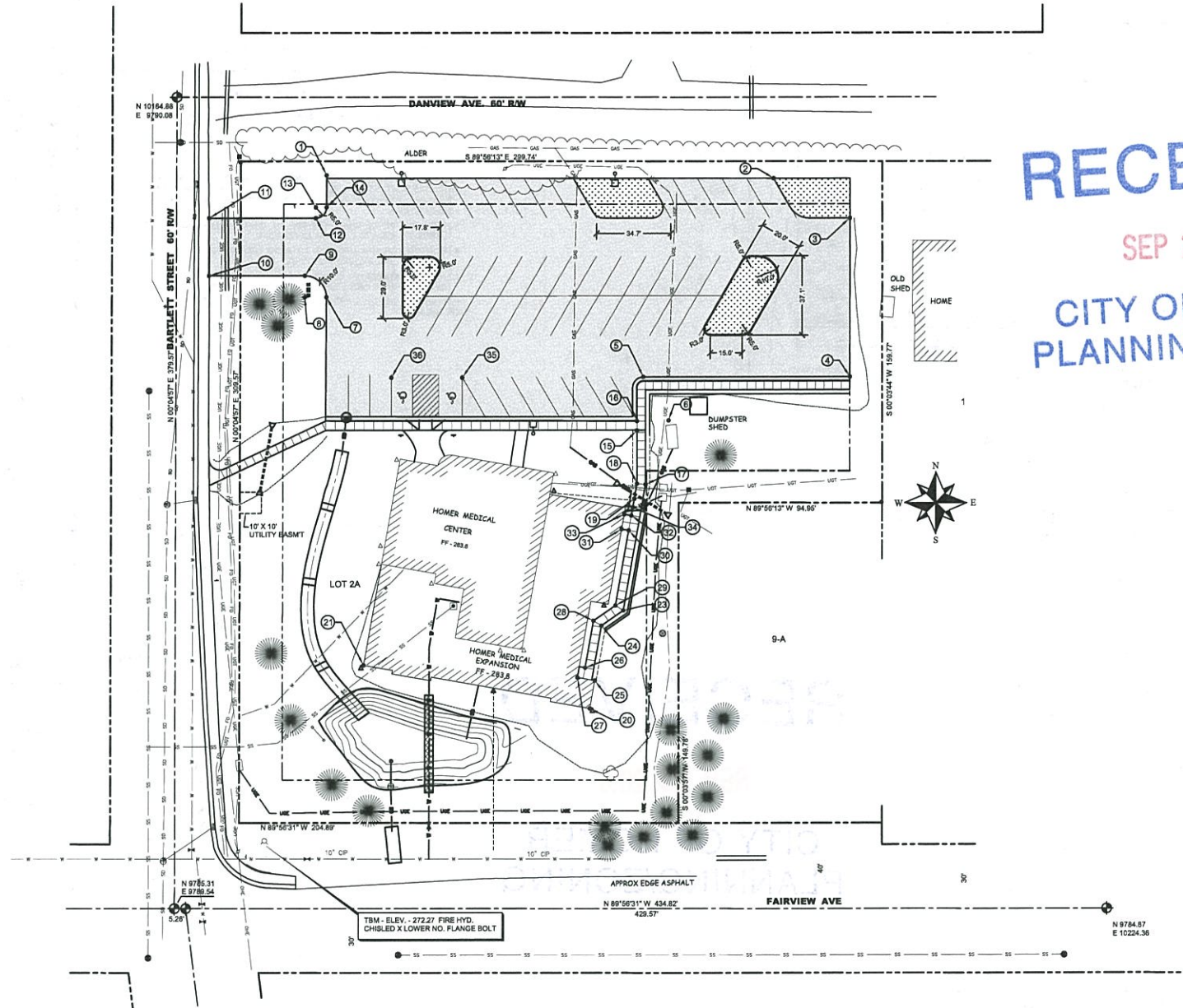
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PROJECT NO. 1516.00
DRAWN BY: BWL
REVIEWED BY: BWL
DATE: AUGUST 16, 2016

CONSTRUCTION DOCUMENTS
TITLE

SITE PLAN

SHEET NO.
C2.0



RECEIVED
 SEP 29 2016
 CITY OF HOMER
 PLANNING/ZONING

- GENERAL NOTES**
- 1.) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ACTUAL DEPTH, NUMBER AND LOCATION UNKNOWN. BURIED UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, IDENTIFYING, AND WORKING AROUND ALL UTILITIES WITHIN THE PROJECT LIMITS AT NO ADDITIONAL COST TO THE OWNER. CALL FOR LOCATES PRIOR TO EXCAVATION, ALASKA DIGLINE 1-800-478-3121.
 - 2.) THE FOLLOWING ALASKA STATUTES APPLY TO WORK NEAR OVERHEAD ELECTRIC LINES:
 AS 18.60.670 PROHIBITION AGAINST PLACEMENT OF EQUIPMENT NEAR ELECTRICAL POWER LINES AND CONDUCTORS.
 A PERSON INDIVIDUALLY OR THROUGH AN AGENT OR EMPLOYEE MAY NOT
 (1) PLACE ANY TYPE OF TOOL, EQUIPMENT, MACHINERY OR MATERIAL THAT IS CAPABLE OF LATERAL, VERTICAL OR SWINGING MOTION, WITHIN 10' OF HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR;
 (2) STORE, OPERATE, ERECT, MAINTAIN, MOVE OR TRANSPORT TOOLS, MACHINERY, EQUIPMENT, SUPPLIES, MATERIALS, APPARATUS, BUILDINGS, OR OTHER STRUCTURES WITHIN 10 FEET OF A HIGH VOLTAGE OVERHEAD ELECTRICAL LINE OR CONDUCTOR.
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POINT SCHEDULE			
Point #	Northing	Easting	Description
1	10128.30	9860.03	EP
2	10126.66	10069.06	EP
3	10108.06	10104.75	FUTURE EP
4	10033.74	10104.68	FUTURE EP
5	10033.74	10008.09	EP
6	10013.43	10019.90	EP
7	10071.29	9859.95	EP
8	10071.30	9849.95	RADIUS PT
9	10081.30	9849.95	EP
10	10081.30	9805.21	EP
11	10108.30	9805.21	EP
12	10108.30	9855.01	EP
13	10113.30	9855.01	EP
14	10113.30	9860.01	EP
15	10008.72	10005.09	TC
16	10013.13	10005.09	TC
17	9983.44	10009.09	EP
18	9983.79	10005.09	EP
19	9976.72	10003.85	TC
20	9878.82	9983.23	CORNER

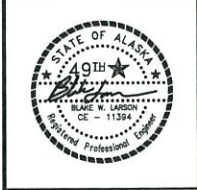
POINT SCHEDULE			
Point #	Northing	Easting	Description
21	9898.88	9877.55	CORNER
23	9924.47	9998.73	TC
24	9917.36	9988.60	TC
25	9891.72	9985.53	CORNER
26	9897.69	9981.08	TC
27	9893.13	9977.48	TC
28	9919.69	9984.94	TC
29	9926.79	9995.08	TC
30	9961.93	10001.25	TC
31	9962.51	9997.96	TC
32	9968.91	10002.47	TC
33	9969.48	9999.18	TC
34	9972.78	10003.15	TC
35	10033.53	9923.62	EP
36	10033.58	9890.36	EP

A SITE LAYOUT PLAN
 C2.1
 GRAPHIC SCALE 1" = 30'

KENAI PENINSULA BOROUGH
 SOUTH PENINSULA HOSPITAL
 HOMER MEDICAL CLINIC EXPANSION
 HOMER, ALASKA



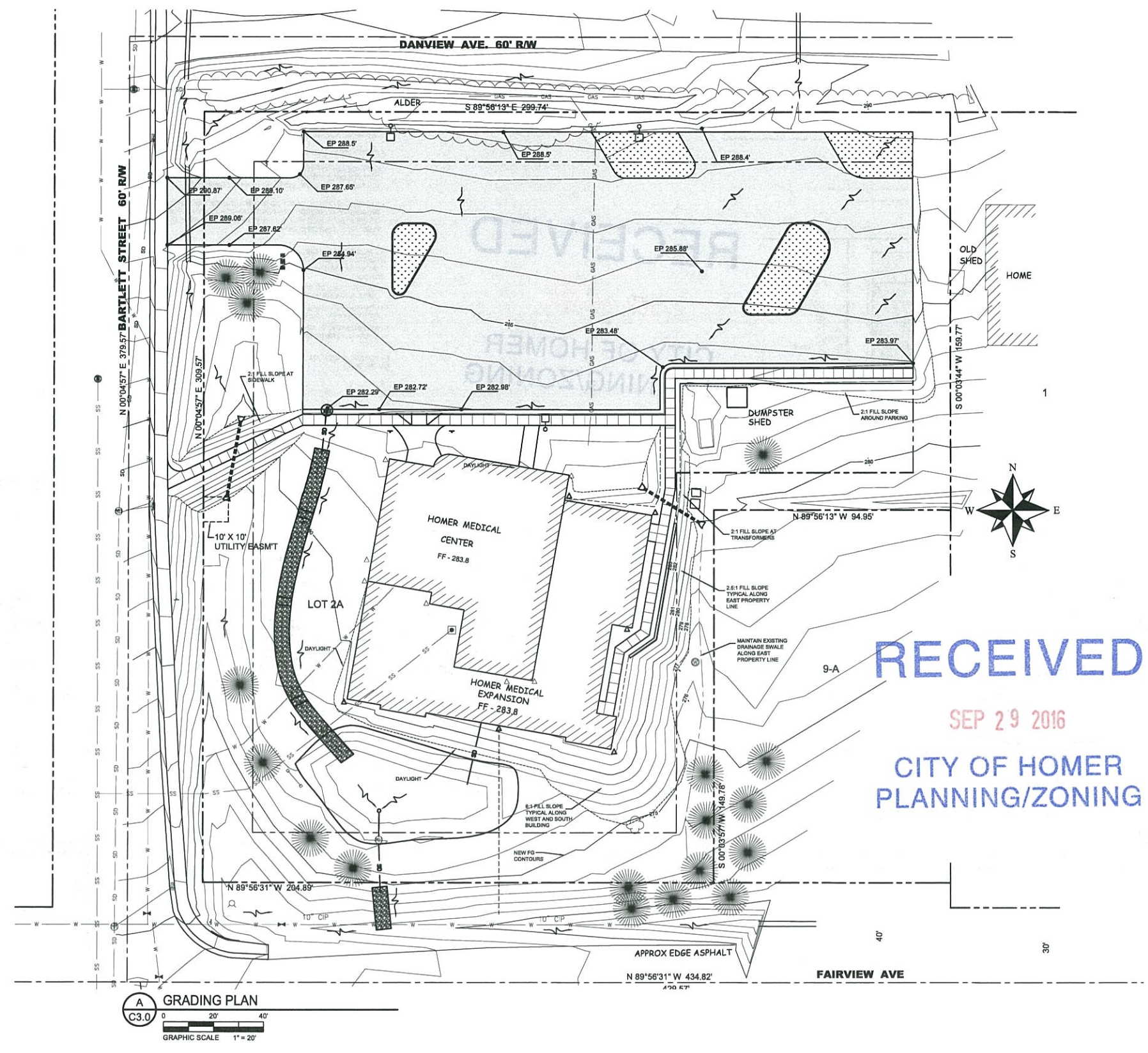
LARSON
 ENGINEERING
 &
 DESIGN, P.C.
 CIVIL ENGINEERING
 1000 W. JARVIS
 KENAI, AK 99111
 TEL: (907) 285-1566 FAX: (907) 285-1586



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PROJECT NO. 1516.00
 DRAWN BY: BWL
 REVIEWED BY: BWL
 DATE: AUGUST 16, 2016
 CONSTRUCTION DOCUMENTS
 TITLE
 SITE LAYOUT PLAN

SHEET NO.
 C2.1



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LEGEND

EXISTING	NEW	
---	---	PROPERTY LINE
---	---	BASEMAP PROPERTY LINE
---	---	EASEMENT LINE
---	---	BUILDING SETBACK
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	UNDERGROUND GAS
---	---	UNDERGROUND TELEPHON
---	---	UNDERGROUND FIBER OPT
---	---	POWER POLE W/ GUY ANCH-SIGN
---	---	GROUND WATER MONITOR
---	---	TELEPHONE BOX
---	---	ELEVATION CONTOUR
---	---	SPOT ELEVATION
---	---	EDGE OF ASPHALT
---	---	WATERLINE W/ VALVE
---	---	FIRE HYDRANT
---	---	SEWER LINE W/ MANHOLE
---	---	STORM DRAIN W/ MANHOLE
---	---	CLEANOUT
---	---	FOOTING DRAIN CLEANOUT
---	---	CONCRETE
---	---	CONCRETE - HEATED
---	---	ASPHALT PAVEMENT
---	---	TOPSOIL & SEEDING
---	---	CURB & GUTTER W/ TYPE
---	---	STRUCTURE
---	---	TREELINE
---	---	CULVERT
---	---	LIGHT BOLLARD
---	---	LIGHT POLE
---	---	CURB STORM INLET
---	---	SIGN
---	---	DECIDUOUS TREE
---	---	SPRUCE TREE
---	---	RECOVERED MONUMENT
---	---	RECOVERED REBAR CAP
---	---	DRAINAGE DIRECTION

KENAI PENINSULA BOROUGH
 SOUTH PENINSULA HOSPITAL
 HOMER MEDICAL CLINIC EXPANSION
 HOMER, ALASKA

LIVINGSTON STONE
 ENGINEERING & DESIGN, P.C.
 CIVIL ENGINEERING
 1000 W. JORDON BLVD., SUITE 203
 ANCHORAGE, ALASKA 99515
 TEL: (907) 285-1566 FAX: (907) 285-1568

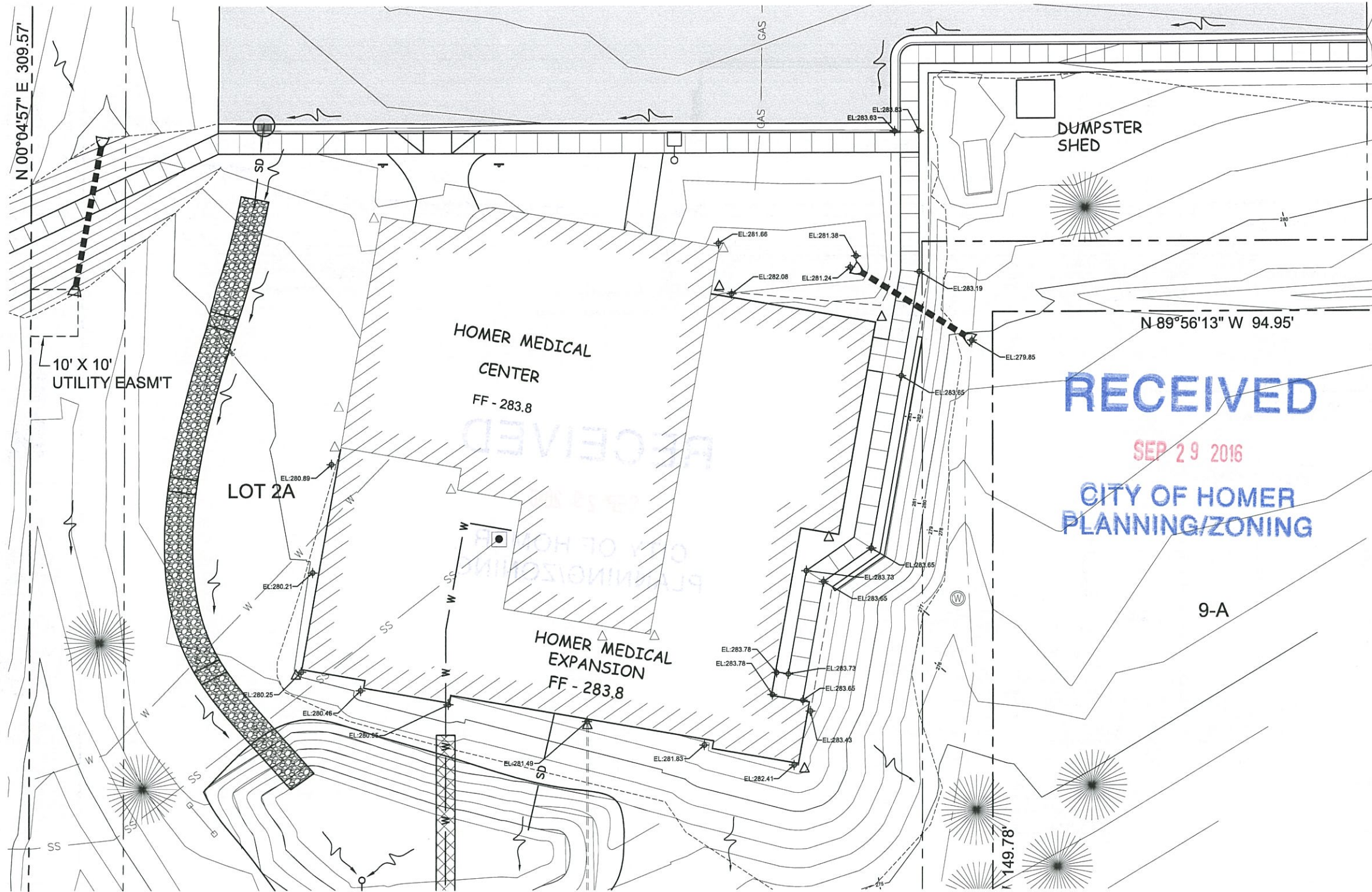
STATE OF ALASKA
 CIVIL ENGINEER
 BAKE W. JORDON
 CE - 11384
 Licensed Professional Engineer

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PROJECT NO. 1516.00
 DRAWN BY: BWL
 REVIEWED BY: BWL
 DATE: AUGUST 16, 2016




CONSTRUCTION DOCUMENTS
 TITLE
 GRADING PLAN

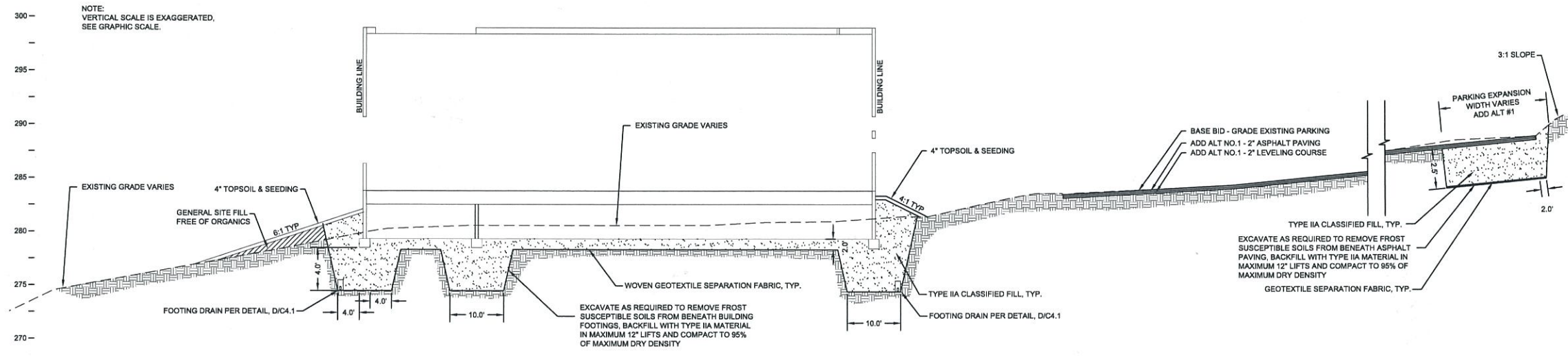
SHEET NO.
C3.0



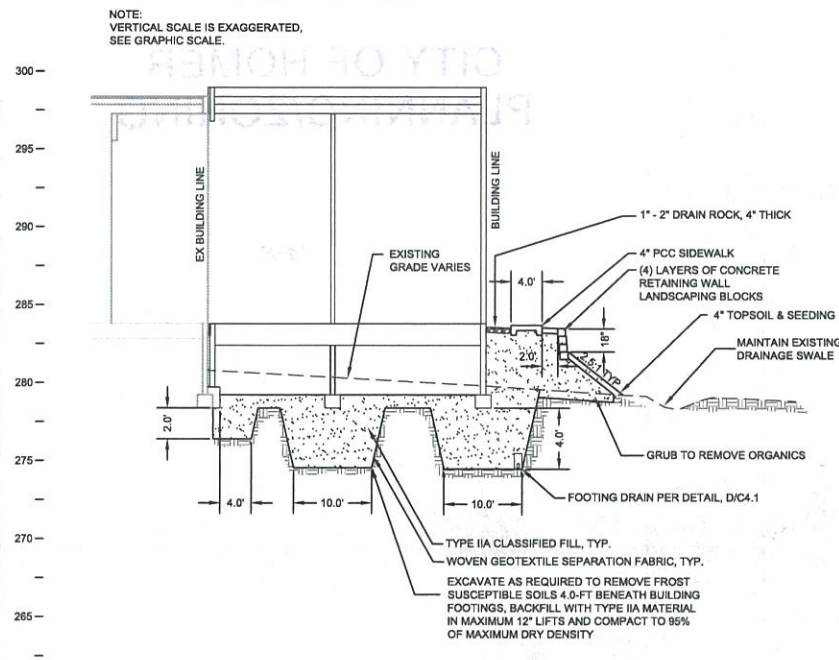
A SIDEWALK GRADING PLAN
C3.1
 0 10' 20'
 GRAPHIC SCALE 1" = 10'

RECEIVED
 SEP 29 2016
 CITY OF HOMER
 PLANNING/ZONING

KENAI PENINSULA BOROUGH	
SOUTH PENINSULA HOSPITAL	
HOMER MEDICAL CLINIC EXPANSION	
HOMER, ALASKA	
	
	
	
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PROJECT NO.	1516.00
DRAWN BY:	BWL
REVIEWED BY:	BWL
DATE:	AUGUST 16, 2016
CONSTRUCTION DOCUMENTS TITLE	SIDEWALK GRADING PLAN
SHEET NO.	C3.1



A N-S SITE SECTION
 C4.0
 GRAPHIC SCALE 1" = 10' HORIZ, 1" = 5' VERT



B E-W SITE SECTION
 C4.0
 GRAPHIC SCALE 1" = 10' HORIZ, 1" = 5' VERT

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 CITY OF HOMER
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KENAI PENINSULA BOROUGH
 SOUTH PENINSULA HOSPITAL
 HOMER MEDICAL CLINIC EXPANSION
 HOMER, ALASKA

LIVINGSTON STONE
 CIVIL ENGINEERING & DESIGN, P.C.
 2000 WEST WILKINSON BLVD. #100
 ANCHORAGE, ALASKA 99503
 TEL: (907) 285-1565 FAX: (907) 285-1566

LARSON
 ENGINEERING
 &
 DESIGN, P.C.
 CIVIL ENGINEERING
 1000 W. 10TH AVE. #203
 ANCHORAGE, AK 99501
 TEL: (907) 285-1565 FAX: (907) 285-1566

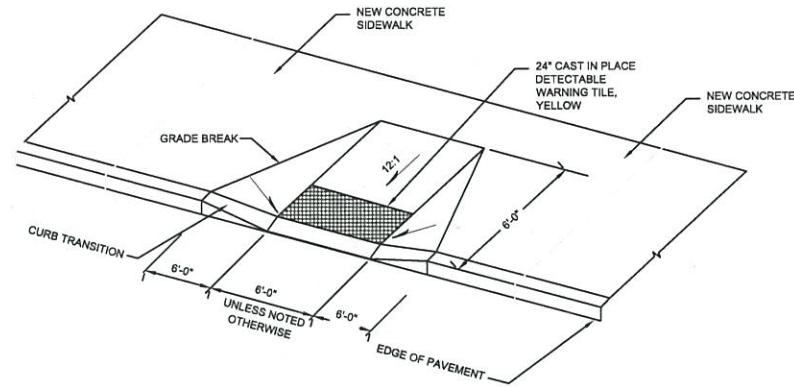
STATE OF ALASKA
 19TH
 BLAKE W. LARSON
 CE - 11384
 Professional Engineer

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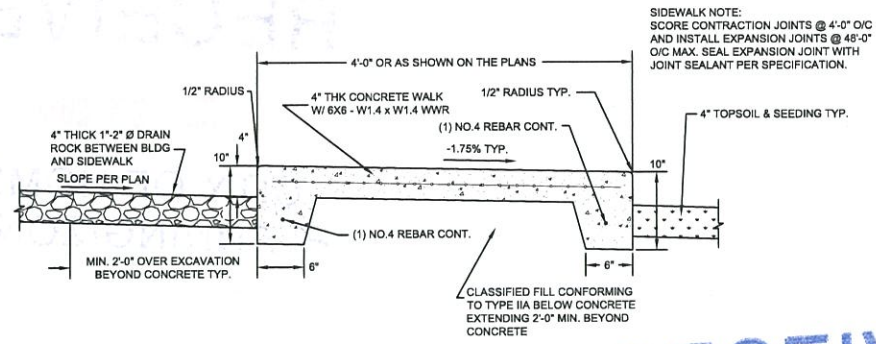
PROJECT NO. 1516.00
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CONSTRUCTION DOCUMENTS
 TITLE
 SITE SECTIONS

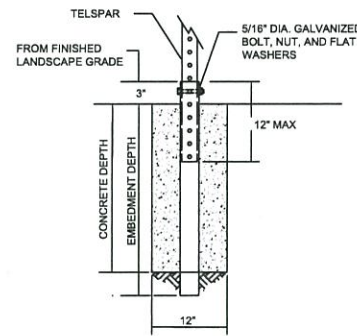
SHEET NO.
 C4.0



A SIDEWALK CURB CUT DETAIL

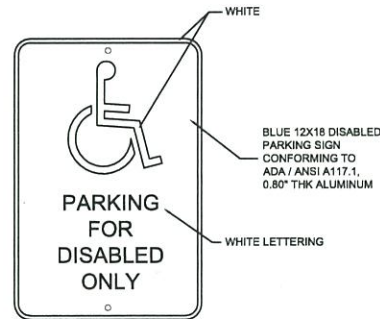


B TYPICAL SIDEWALK DETAIL

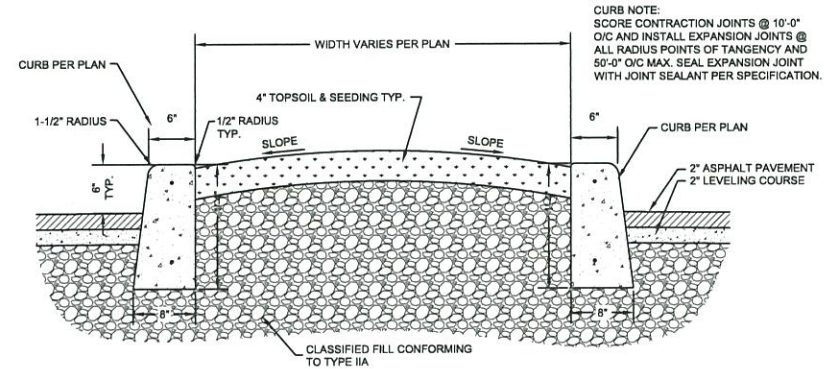


PERFORATED STEEL TUBES (P.S.T.) (12ga. - .105\" Wall Thickness)			
SIGN SURFACE AREA SQ. FT.	POST SIZE	EMBEDMENT DEPTH	CONCRETE DEPTH
7\" OR LESS	2\" X 2\"	27\"	24\"

C TYPICAL ADA SIGN AND POST DETAIL



D FOOTING DRAIN DETAIL



E TYPICAL PARKING ISLAND SECTION



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SEP 29 2016

CITY OF HOMER
PLANNING/ZONING

KENAI PENINSULA BOROUGH
SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION
HOMER, ALASKA



LARSON
ENGINEERING
&
DESIGN, P.C.



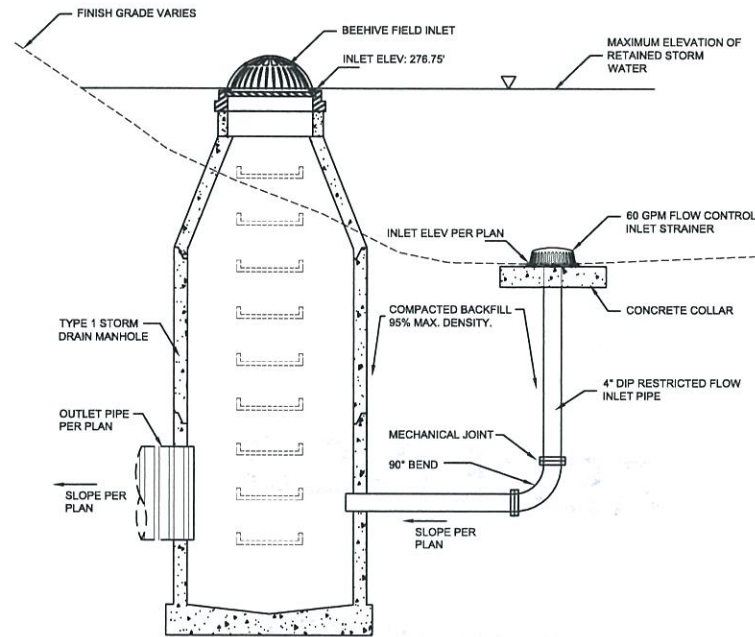
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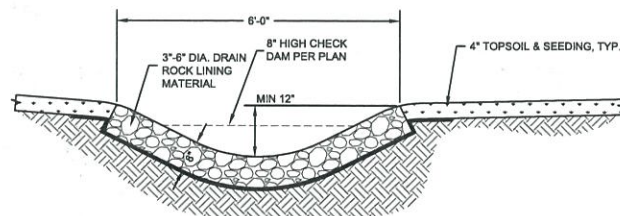
CONSTRUCTION DOCUMENTS
TITLE

SITE
DETAILS

SHEET NO.
C4.1



A FLOW CONTROL STRUCTURE DETAIL
C4.2
GRAPHIC SCALE NTS

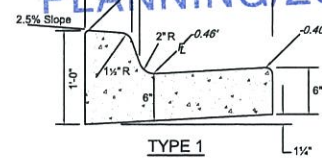


D ROCK LINED SWALE DETAIL
C4.2
GRAPHIC SCALE NTS

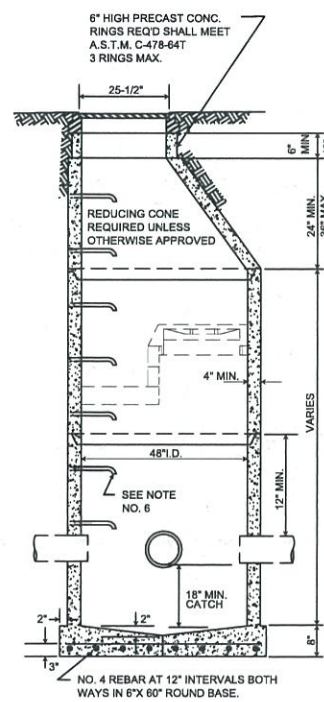
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SEP 29 2016

CITY OF HOMER
PLANNING/ZONING

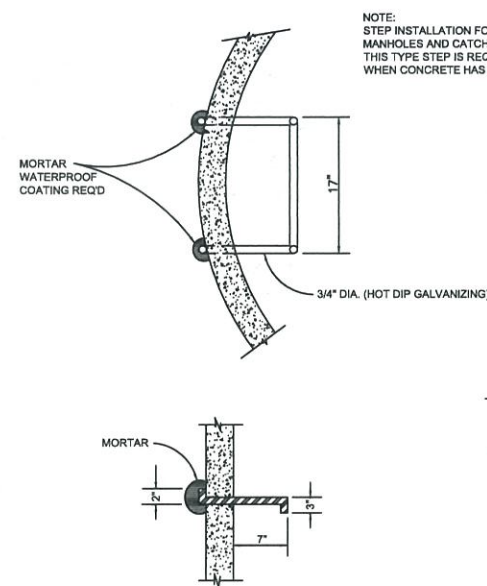


B TYPE 1 CURB DETAIL
C4.2
GRAPHIC SCALE NTS

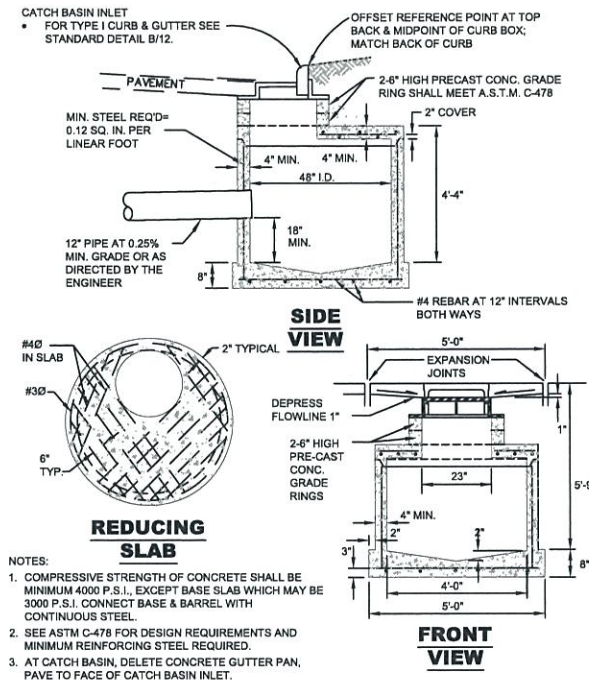


E TYPE 1 STORM DRAIN MANHOLE
C4.2
GRAPHIC SCALE NTS

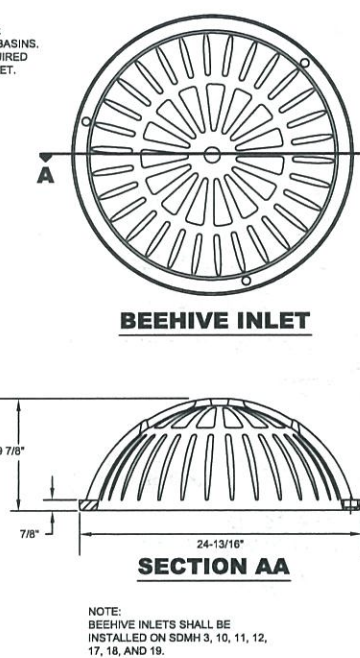
- NOTES:
1. REFER TO A.S.T.M. DESIGNATION C-470-69 FOR DESIGN REQUIREMENTS.
 2. SEE MANHOLE FRAME & COVER DETAIL.
 3. MIN. STEEL REQ'D FOR BARREL AS PER A.S.T.M. C-478-69 SHALL BE IMBEDDED IN BASE SO THAT FIRST BARREL SECTION IS CONNECTED WITH BASE.
 4. PRIMARY LEADS NOT TO EXCEED 30\"/>



B TYPICAL CATCH BASIN DETAIL
C4.2
GRAPHIC SCALE NTS



- NOTES:
1. COMPRESSIVE STRENGTH OF CONCRETE SHALL BE MINIMUM 4000 P.S.I. EXCEPT BASE SLAB WHICH MAY BE 3000 P.S.I. CONNECT BASE & BARREL WITH CONTINUOUS STEEL.
 2. SEE ASTM C-478 FOR DESIGN REQUIREMENTS AND MINIMUM REINFORCING STEEL REQUIRED.
 3. AT CATCH BASIN, DELETE CONCRETE GUTTER PAN. PAVE TO FACE OF CATCH BASIN INLET.



BEEHIVE INLET
SECTION AA

KENAI PENINSULA BOROUGH
SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION
HOMER, ALASKA

LIVINGSTON STONE
CORPORATION
ENGINEERING & DESIGN, P.C.
1000 W. 10TH AVENUE, SUITE 200
ANCHORAGE, ALASKA 99511
TEL: (907) 265-1585 FAX: (907) 265-1586

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CIVIL ENGINEERING
1000 W. 10TH AVENUE, SUITE 200
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STATE OF ALASKA
90TH
DIVISION OF PROFESSIONAL ENGINEERING
CC - 11384

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DATE: AUGUST 16, 2016

CONSTRUCTION DOCUMENTS
TITLE
SITE
DETAILS

SHEET NO.
C4.2

PUBLIC HEARING NOTICE

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Advisory Planning Commission on Wednesday, October 05, 2016 at 6:30 p.m. at Homer City Hall, 491 East Pioneer Avenue, Homer, Alaska, on the following matter:

A Request for a Conditional Use Permit (CUP) 16-06 at 4136 Bartlett Street, Homer Medical Center. The applicant proposes a 5000 square foot expansion at Fairview Sub No. 11 Lot 2-A Blk 5. A (CUP) is required per HCC 21.16.030 (d), Medical Clinic & HCC 21.16.040 (e) more than 8000 square feet of building area.

Anyone wishing to present testimony concerning this matter may do so at the meeting or by submitting a written statement to the Homer Advisory Planning Commission, 491 East Pioneer Avenue, Homer, Alaska 99603, by 4:00 p.m. on the day of the meeting.

The complete proposal is available for review at the City of Homer Planning and Zoning Office located at Homer City Hall. For additional information, please contact Rick Abboud at the Planning and Zoning Office, 235-3106.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY.

.....

VICINITY MAP ON REVERSE

Vicinity Map



City of Homer
 Planning and Zoning Department

8.17.16

Homer Medical Center expansion
 CUP 16-06, 4136 Bartlett
 Fairview Sub No 11 Lot 2-A Blk 5

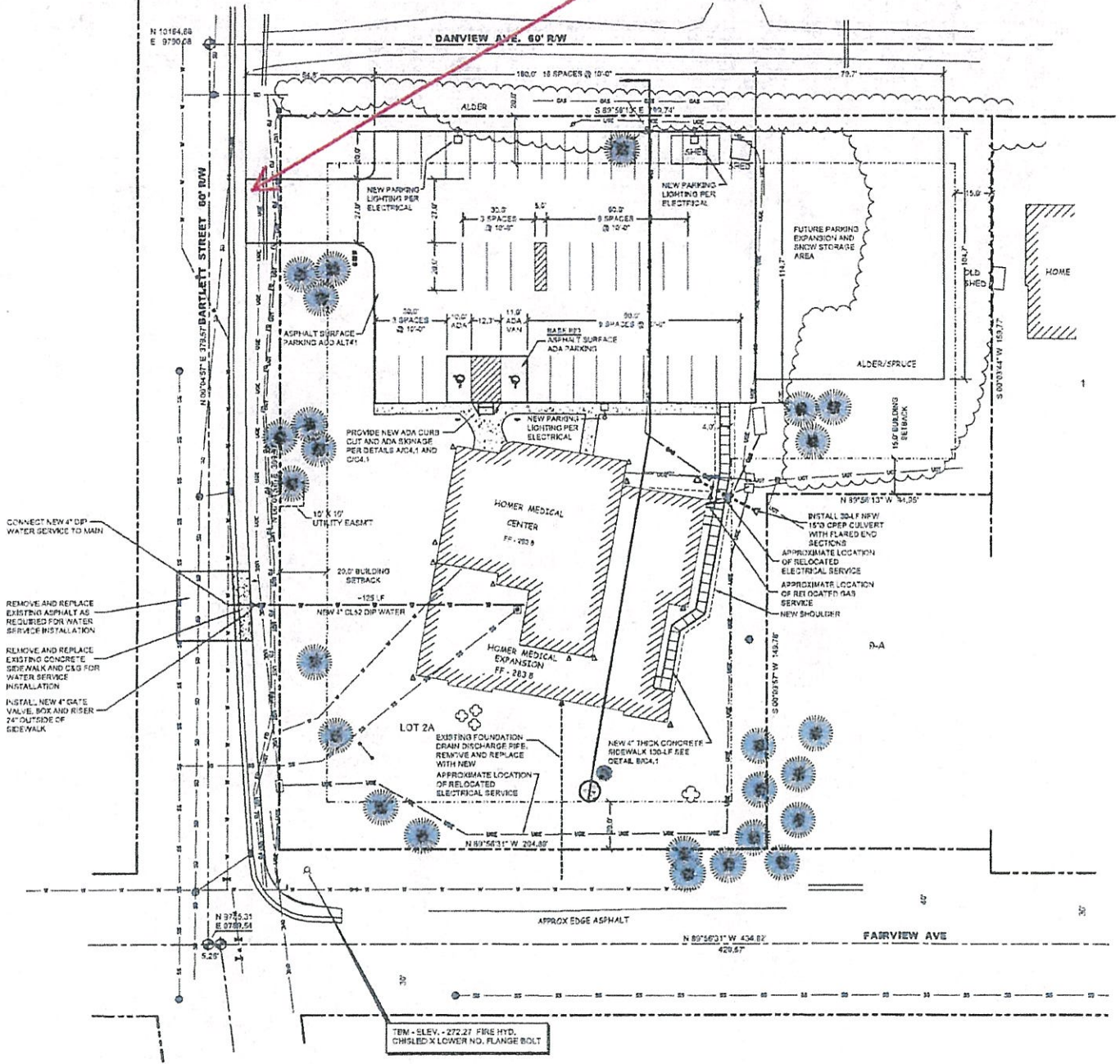
Marked lots are within 300 feet
 and property owners notified



*Disclaimer:
 It is expressly understood the City of
 Homer, its council, board,
 departments, employees and agents are
 not responsible for any errors or omissions
 contained herein, or deductions, interpretations
 or conclusions drawn therefrom.*

Right of Way Access Plan

Access to the property will not change from the existing. Driveway access to Bartlett Street as indicated below.



A SITE PLAN
 C2.0
 0 30' 60'
 GRAPHIC SCALE 1" = 30'

Arial Map



Subject Lot:
Homer Medical Clinic

Karen Hornaday Park

Homer Medical Center expansion

Marked lots are within 300 feet and property owners notified



City of Homer
Planning and Zoning Department

8.29.16



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TESTIMONY AT HOMER PLANNING & ZONING

My name is Tom Schroeder. I reside at 254 West Fairview Avenue with my wife Jean. We are the owners of the property immediately to the East of the present Homer Medical Clinic and the primary property owners that will be affected the most by the proposed increase in the size of the clinic.

1. I am adamantly opposed to the proposed C.U.P. for the homer medical clinic expansion at this time.
2. The revised plan from the borough has (just been) or (has not been) submitted and time is needed to revise it to see if it adequately addresses the water drainage problem in the area.
3. Water and snow melt drainage has been and continues to be a problem and a major concern in this area.
4. Since the mid 1980's, I have spent \$25-30,000 trying to solve the problem and I will elaborate further a little later.
5. I will not approve of the project until at least the following items are contained in the construction plans:
 - A.) The parking lot needs to be re-graded and possibly paved so all rain & snow melt is directed west to

Laydown Sept 14, 2016
41

Bartlett St. This may involve higher curbing near the clinic as winter glaciation often causes water to flow over the sidewalk, seeping into the ground on the south side of the sidewalk.

- B. All snow plowing and storage needs to be directed west to Bartlett Street - NOT east as mentioned in the original C.U.P. Request. This will most likely result in the need to remove the trees, rocks and shrubs on the south side of the driveway entrance off of Bartlett Street.
- C. The grown over ditch along the north side of the parking lot needs to be cleared and graded so drainage heads to Bartlett Street. The culvert under the driveway entrance needs to be opened and lowered so ditch water will continue to move down south along Bartlett Street.***At present, there is a culvert exit on the south side of the driveway, but the upper end of the culvert is either plugged or is missing. This road ditch appears to be the transport mechanism for all water and snow from the lower hospital parking lot.

6. History:

Prior to building the clinic, there used to be a pond on the southwest corner of the property which accumulated all rain and snow melt-off. At the eastern end of the pond, a culvert crossed Fairview Ave. and took water

south to a second pond that the present senior housing complex is located on. So water has always been an issue for this area.

- A. Originally Drs. Bell and Eneboe came and talked to me about their plans and I talked to them about the drainage problems. I testified at the City Council in favor of re-zoning from “Residential” to “Residential/commercial.” Without my testimony, the change would have had a tough time getting passed at that time. At that time, I never foresaw the presently planned monster coming right over to our property line.

- B. Within 1 ½ years of construction, I had to excavate along the back of my house to put in new drain tiles along the north and east side of the house and to “bituthane” the walls. Drs. Bell & Eneboe saw the work being done and graciously offered to pay half of the bill.

- C. During the two 100 years floods we experienced in 2002, the ground became so saturated that a new channel was created causing water to come into my basement under my garage. During this time, we were siphoning 50-100 gallons of water up to several times per day.

As a result of this problem, I had Paul Hodgdon

come in and put in a water dam along the north side of my property and continuing south along the west property line to the Fairview Avenue road ditch.

This project consisted of a heavy duty plastic “curtain,” drain rock and 8" drain tile. During construction Paul hit a coal seam at about the 8 foot depth and water just gushed out. This coal seam probably covers the entire area and heads straight toward Woodard Creek—the coal seam can be seen in the creek bed.

- D. This project solved most of the water problem, but because this “channel” for water to move along had been created during the large floods, any rain and snow melt between the water curtain and my house continued to flow under my garage to the basement. Thus, about six years ago, I again had Paul Hodgdon come and remove two 2/3 of my garage floor, excavate the dirt, bituthane the basement walls and put in new drain tile all the way to Fairview Avenue.
7. I have not had any water problems since completion of this project, but ground water continues to be a problem and a real concern. Several years ago, the owner of Kenai Physical Therapy, located just east of my house also had to do work around their basement to handle water drainage problems and even the medical clinic has had problems with water drainage.

8. Perhaps the thing that most upsets me is that until I called Scott Curtain after receiving notice from the City of the proposed C.U.P., no person from the hospital or Borough has had the decency nor the common courtesy to even come and talk to me or other property owners. It further appears that this entire project is being “fast tracked” and rammed down our throats with little or no input from the public or property owners. The Borough already has the proposition ready for this October’s ballot, barely three weeks away, even before final plans have been submitted, public concern incorporated into such plans and a C.U.P. been issued by the commission.

9. I strongly urge you to deny the C.U.P. and in the strongest possible language indicate that this is NOT how business is conducted in Homer.



Having fun on the pond
before Dr Eneboe's office
was built



City of Homer

www.cityofhomer-ak.gov

Planning
491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us
(p) 907-235-3106
(f) 907-235-3118

Staff Report PL 16-50

TO: Homer Advisory Planning Commission
FROM: Rick Abboud AICP, City Planner
DATE: September 14, 2016
SUBJECT: CUP 16-06, Medical Clinic of more than 8000 square feet in the Residential Office District

Synopsis The applicant proposes an expansion of approximately 5000ft. to the existing medical clinic. A Conditional Use Permit (CUP) is required per HCC 21.16.030(d), Medical Clinic & HCC 21.16.030(e), more than 8000 square feet of building area.

Applicants: Scott Curtin, Kenai Peninsula Borough
144 N Binkley Street
Soldotna, AK 99669

Location: 4136 Bartlett Street
Parcel ID: 17506212
Size of Existing Lot: 1.8 acres
Zoning Designation: Residential Office
Existing Land Use: Medical Clinic
Surrounding Land Use: North: Residential/Vacant
South: Residential/Vacant
East: Residential
West: Office/Residential

Wetland Status: Wetlands may be located on the northeastern corner of this parcel.
Flood Plain Status: Not in a mapped floodplain.
BCWPD: Not within the Bridge Creek Watershed Protection District
Utilities: Public utilities service the site.
Public Notice: Notice was sent to 46 property owners of 39 parcels as shown on the KPB tax assessor rolls.

ANALYSIS: The applicant is proposing an addition of approximately 500 square feet of the current medical clinic for a approximate total of 10,000 square feet, a CUP is needed for a

medical clinic in the Residential Office district per HCC 21.16.030(d) and more than 8,000 square feet of building area per HCC 21.16.040(e).

Parking: Currently the facility is served by a mostly unpaved lot. Medical Clinics are required to provide 1 space per 300 of gross floor area. At approximately 10,000 square feet, this translates to 34 spaces. Several site visits in the late morning to lunch time frame shows that the facility currently uses over 30 spaces.

Spaces can be optimized if a parking lot is paved and striped. In this case, I would like to see more parking. The applicant is working with the Corps of Engineers on defining wetlands and they may have more parking spaces available in the northeast corner.

Additional parking could be address be internal police of the facility. This facility is now an extension of SPH which does provide nearby parking. Offsite employee parking would ease what is most likely to be an increased demand for parking at the site.

I recommend a condition that the parking lot is to be paved and a pedestrian pathway be created to intersect with the sidewalk located on Bartlett Street. Per 21.50.030, 10% of parking areas over 24 spaces shall be landscaped in islands, dividers, or a combination of the two.

Drainage/stormwater: The expansion combined with the current parking is very near one acre. Once the total impervious gets beyond an acre, a stormwater plan is required. I recommend that a stormwater plan is developed. The stormwater plan is needed to mitigate drainage concerns from the adjacent property to the southeast. Water from the parking lot and structure needs to be directed to west and the south to avoid impacting the residence to the southeast.

The criteria for granting a Conditional Use Permit is set forth in HCC 21.71.020, General conditions, and establishes the following conditions:

a. The applicable code authorizes each proposed use and structure by conditional use permit in that zoning district.

Finding 1: HCC 21.14.030(d) authorizes medical clinics and HCC 21.16.040(e) authorizes more than 8,000 square feet of building area as conditional uses in the Residential Office District.

b. The proposed use(s) and structure(s) are compatible with the purpose of the zoning district in which the lot is located.

Purpose: The Residential Office District is primarily intended for a mixture of low-density to medium-density residential uses and certain specified businesses and offices, which may include professional services, administrative services and personal services, but generally not including direct retail or wholesale transactions except for sales that are incidental to the provision of authorized services. A primary purpose of the district is to preserve and enhance the residential quality of the area while allowing certain services that typically have low traffic generation, similar scale and similar density. The district provides a transition zone between commercial and residential neighborhoods.

Analysis: The Residential Office District is the home of the South Peninsula Hospital and is supporting a growing number of allied services. The clinic is found in relative close proximity to the hospital and adjacent to other healthcare providers. The entrance to the parking lot is found on a collector street that was designed to handle traffic to the hospital. The lot is 1.8 acres, which can support ten residences according to density requirements of the Residential Office District. It is appropriate that this district and location, in specific, allows the clustering of medical services.

Finding 2: The use and structure is compatible with the purpose of the district.

c. The value of the adjoining property will not be negatively affected greater than that anticipated from other permitted or conditionally permitted uses in this district.

Analysis: Many uses in the Residential Office district have greater negative impacts than would be realized from a medical clinic. Hospitals and heliports would have a greater impact on nearby property values. Assisted living, group care, religious, cultural and fraternal assembly would generate a good deal of traffic and would not limited hours of operation.

Finding 3: A medical clinic is not expected to negatively impact the adjoining properties greater than other permitted or conditional uses.

d. The proposal is compatible with existing uses of surrounding land.

Analysis: Surrounding uses include medical facilities and residences. The clinic has been in operation from the early eighties when there were even less medical facilities located nearby. Also nearby is the hospital, which shares in the care of many of the same patients and medical personnel. It is a benefit for Homer to cluster medical services together not only for the benefit of those receiving services, but for the city in general, as sprawl is inhibited.

Finding 4: The proposal is compatible with existing uses of surrounding land.

e. Public services and facilities are or will be, prior to occupancy, adequate to serve the proposed use and structure.

Finding 5: Existing public, water, sewer, and fire services are adequate to serve the medical clinic.

f. Considering harmony in scale, bulk, coverage and density, generation of traffic, the nature and intensity of the proposed use, and other relevant effects, the proposal will not cause undue harmful effect upon desirable neighborhood character.

Analysis: The clinic is located on a large lot adjacent to a collector street that leads to the hospital. Traffic is generally confined to the collector and neighboring local streets should not experience a significant increase in traffic. Hours of operation are limited.

Finding 6: The Commission finds the proposal will not cause undue harmful effect upon desirable neighborhood character.

g. The proposal will not be unduly detrimental to the health, safety or welfare of the surrounding area or the city as a whole.

Analysis: The services provided by the medical clinic certainly contribute to the health safety and welfare of the entire community. The lot is well positioned on a collector route which has been developed as a route to the hospital.

Finding 7: The proposal is not unduly detrimental to health, safety, or welfare.

h. The proposal does or will comply with the applicable regulations and conditions specified in this title for such use.

Analysis: Gaining a CUP along the zoning permit process addresses the applicable regulations.

Finding 8: The proposal will comply with applicable regulations.

i. The proposal is not contrary to the applicable land use goals and objectives of the Comprehensive Plan.

Analysis: Goals of the Land Use Chapter of the Homer Comprehensive Plan include encouraging infill and minimizing impacts of public facilities (Chapter 4, Goal 1). The proposal grows the current site, as opposed to introducing an entire new facility. It is conveniently located nearby to allied services.

Finding 9: No evidence has been found that the proposal is contrary to the applicable land use goals and objects of the Comprehensive Plan.

j. The proposal will comply with the applicable provisions of the Community Design Manual (CDM).

Analysis: The outdoor lighting standards are applicable the Residential Office District.

Finding 10: Outdoor lighting must be down lit per HCC 21.59.030 and the CDM

HCC 21.71.040(b). b. In approving a conditional use, the Commission may impose such conditions on the use as may be deemed necessary to ensure the proposal does and will continue to satisfy the applicable review criteria. Such conditions may include, but are not limited to, one or more of the following:

- 1. Special yards and spaces:** No specific conditions deemed necessary
- 2. Fences and walls:** No specific conditions deemed necessary
- 3. Surfacing of parking areas:** Pave parking lot and provide pedestrian path to sidewalk on Bartlett Street.
- 4. Street and road dedications and improvements:** No specific conditions deemed necessary.
- 5. Control of points of vehicular ingress and egress:** No specific conditions deemed necessary.
- 6. Special provisions on signs:** No specific conditions deemed necessary.
- 7. Landscaping:** No specific conditions deemed necessary.
- 8. Maintenance of the grounds, building, or structures:** No specific conditions deemed necessary.
- 9. Control of noise, vibration, odors or other similar nuisances:** No specific conditions deemed necessary.
- 10. Limitation of time for certain activities:** No specific conditions deemed necessary.
- 11. A time period within which the proposed use shall be developed:** No specific conditions deemed necessary.
- 12. A limit on total duration of use:** No specific conditions deemed necessary.
- 13. More stringent dimensional requirements,** such as lot area or dimensions, setbacks, and building height limitations. Dimensional requirements may be made more lenient by conditional use permit only when such relaxation is authorized by other provisions of the zoning code. Dimensional requirements may not be altered by conditional use permit when and to the extent other provisions of the zoning code expressly prohibit such alterations by conditional use permit.
- 14. Other conditions necessary** to protect the interests of the community and surrounding area, or to protect the health, safety, or welfare of persons residing or working in the vicinity of the subject lot. Runoff should be directed to the established drainage and additional

PUBLIC WORKS COMMENTS: There is an existing 1 ½” waterline that will need to be abandoned at the main. With that said, I would recommend HMC move their proposed 4” DIP line to that location rather than dig the road up twice.....

PW would like to see their proposal for materials used connecting to the mainline.

They need to be aware that per COH standards they will be required to pressure test and disinfect the line before use.

FIRE DEPARTMENT COMMENTS: No FD issues. Will require FM review.

PUBLIC COMMENTS: Tom Schroeder, southeast neighbor at 254 W Fairview Ave. Mr. Schroeder came to my office and expressed concern about additional runoff might affect his property. He wants the applicant to direct all runoff into the existing drainage easement that runs adjacent to Bartlett and then Fairview to the east to his property. He suggests that the parking lot be graded to move all runoff to the west and that snow storage be moves to the west side of the lot so it does not drain on to his property.

STAFF COMMENTS/RECOMMENDATIONS:

Planning Commission approve CUP **Staff Report PL 16-50** with findings 1-10 and the following conditions.

1. All lighting must comply with community design manual guidelines
2. Parking area shall be paved and a pedestrian path shall be established to Bartlett Street.
3. Develop and install stormwater plan per HCC 21.75.

Attachments

Application
Public Notice
Aerial Photograph



City of Homer

www.cityofhomer-ak.gov

RECEIVED

AUG 18 2015

Planning

491 East Pioneer Avenue
Homer, Alaska 99603

Planning@ci.homer.ak.us

(p) 907-235-3106

(f) 907-235-3118

**CITY OF HOMER
PLANNING/ZONING**

Applicant
Name: SCOTT CURTIN (KPB) Telephone No.: (907) 740-8103 cell
Address: 144 N. BINKLEY Soldotna, AK Email: SCURTIN@KPB.US

Property Owner (if different than the applicant):
Name: Scott Curtin (Kenai Peninsula Borough) Telephone No.: 907.262.2032
Address: 144 North Binkley Street, Soldotna, AK 99669 Email: SCurtin@kpb.us

PROPERTY INFORMATION:
Address: 4136 Bartlett Lot Size: 1.8 acres KPB Tax ID # 17506212
Legal Description of Property: T 6S R 13W SEC 18 SEWARD MERIDIAN HM 0850028 FAIRVIEW SUB NO 11 LOT 2-A BLK 5

For staff use:
Date: 8/16/16 Fee submittal: Amount \$1000⁰⁰
Received by: YBA Date application accepted as complete 8/16/16
Planning Commission Public Hearing Date: 9/7/16

Conditional Use Permit Application Requirements:

1. A Site Plan
2. Right of Way Access Plan
3. Parking Plan
4. A map showing neighboring lots and a narrative description of the existing uses of all neighboring lots. (Planning can provide a blank map for you to fill in).
5. Completed Application Form
6. Payment of application fee (nonrefundable)
7. Any other information required by code or staff, to review your project

Circle Your Zoning District

	RR	UR	RO	CBD	TCD	GBD	GC1	GC2	MC	MI	EEMU	BCWPD
Level 1 Site Plan	x	x	x			x			x			x
Level 1 ROW Access Plan	x	x							x			
Level 1 Site Development Standards	x	x										
Level 1 Lighting			x	x	x	x	x	x	x	x	x	
Level 2 Site Plan			x	x	x		x	x		x	x	
Level 2 ROW Access Plan			x	x	x		x	x		x	x	
Level 2 Site Development Standards			x*	x	x	x	x	x			x	
Level 3 Site Development Standards									x	x		
Level 3 ROW Access Plan						x						
DAP/SWP questionnaire				53	x	x	x	x			x	

Circle applicable permits. Planning staff will be glad to assist with these questions.

- Y N Are you building or remodeling a commercial structure, or multifamily building with more than 3 apartments? If yes, Fire Marshal Certification is required. Status: Fire marshal review will begin when design is complete
- Y N Will your development trigger a Development Activity Plan?
Application Status: Contractor has not been selected yet.
- Y N Will your development trigger a Storm water Plan?
Application Status: _____
- Y N Does your site contain wetlands? If yes, Army Corps of Engineers Wetlands Permit is required. Application Status: A permit is not likely to be required per a previous determination. COE is currently evaluating expansion of the attached finding.
- Y N Is your development in a floodplain? If yes, a Flood Development Permit is required.
- Y N Does your project trigger a Community Design Manual review?
If yes, complete the design review application form. The Community Design Manual is online at: <http://www.ci.homer.ak.us/documentsandforms>
- Y N Do you need a traffic impact analysis? Very Little Additional Traffic.
- Y N Are there any nonconforming uses or structures on the property?
- Y N Have they been formally accepted by the Homer Advisory Planning Commission?
- Y N Do you have a state or city driveway permit? Status: CONTRACTOR WILL OBTAIN
- Y N Do you have active City water and sewer permits? Status: CONTRACTOR WILL OBTAIN

1. Currently, how is the property used? Are there buildings on the property? How many square feet? Uses within the building(s)?

Property is used by the South Peninsula Hospital as a walk-in health clinic. Existing building is approximately 5,000 s.f.

2. What is the proposed use of the property? How do you intend to develop the property? (Attach additional sheet if needed. Provide as much information as possible).

No change in use is proposed. This project will add approximately 5,000 s.f. to the existing clinic.

CONDITIONAL USE INFORMATION: Please use additional sheets if necessary. HCC21.71.030

- a. What code citation authorizes each proposed use and structure by conditional use permit?
Health clinics are allowed per 21.16.030 d.
- b. Describe how the proposed uses(s) and structures(s) are compatible with the purpose of the zoning district.
Health clinics are allowed per 21.16.030 d.
- c. How will your proposed project affect adjoining property values?
No change anticipated.
- d. How is your proposal compatible with existing uses of the surrounding land?
No change in use, so no change in compatibility
- e. Are/will public services adequate to serve the proposed uses and structures?
Utilities have been verified.
- f. How will the development affect the harmony in scale, bulk, coverage and density upon the desirable neighborhood character, and will the generation of traffic and the capacity of surrounding streets and roads be negatively affected?
This addition will match the existing building, no increase in height. Traffic may increase slightly due to new exam rooms (10).
- g. Will your proposal be detrimental to the health, safety or welfare of the surrounding area or the city as a whole? No.
- h. How does your project relate to the goals of the Comprehensive Plan?
The Comprehensive Plan are online,
The plan calls for expanded access to health services, and this is a direct response to that need
- i. The Planning Commission may require you to make some special improvements. Are you planning on doing any of the following, or do you have suggestions on special improvements you would be willing to make? (**circle each answer**)
1. Y/N Special yards and spaces.
 2. Y/N Fences, walls and screening.
 3. Y/N Surfacing of parking areas. Design for future paving is part of building documents
 4. Y/N Street and road dedications and improvements (or bonds).
 5. Y/N Control of points of vehicular ingress & egress.
 6. Y/N Special provisions on signs.
 7. Y/N Landscaping.
 8. Y/N Maintenance of the grounds, buildings, or structures.

- 9. Y/N Control of noise, vibration, odors, lighting, heat, glare, water and solid waste pollution, dangerous materials, material and equipment storage, or other similar nuisances. All exterior light fixtures have full cut-off shielding
- 10. Y/N Time for certain activities.
- 11. Y/N A time period within which the proposed use shall be developed.
- 12. Y/N A limit on total duration of use.
- 13. Y/N Special dimensional requirements such as lot area, setbacks, building height. New portion of building creates height variation without increasing total height.
- 14. Y/N Other conditions deemed necessary to protect the interest of the community.

PARKING

- 1. How many parking spaces are required for your development? 35
If more than 24 spaces are required see HCC 21.50.030(f)(1)(b). _____
- 2. How many spaces are shown on your parking plan? 39
- 3. Are you requesting any reductions? No.

Include a site plan, drawn to a scale of not less than 1" = 20' which shows existing and proposed structures, clearing, fill, vegetation and drainage.

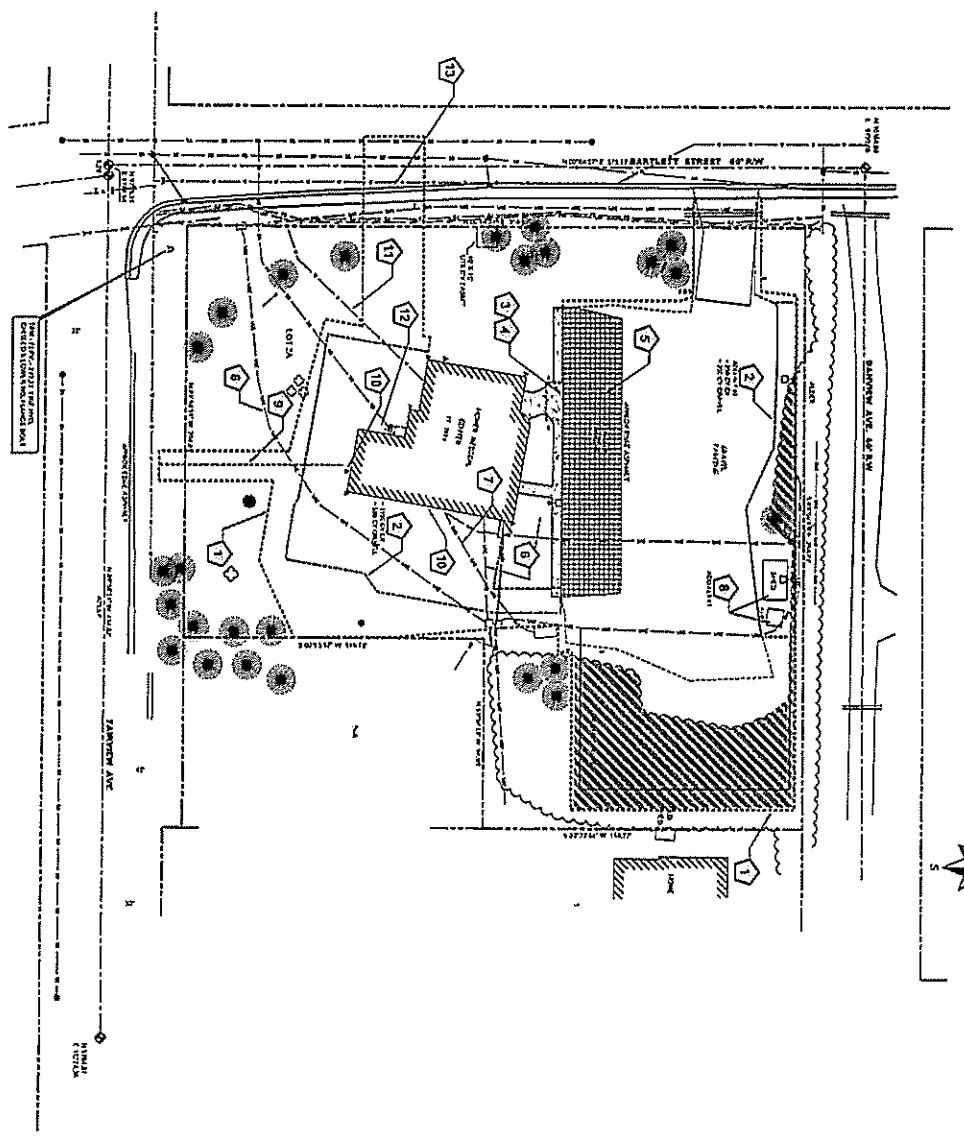
I hereby certify that the above statements and other information submitted are true and accurate to the best of my knowledge, and that I, as applicant, have the following legal interest in the property:

CIRCLE ONE: Owner of record Lessee Contract purchaser

Applicant signature: [Signature] Date: 7-22-2016

Property Owner's signature: [Signature] Date: 7-22-2016
KPB Land Mgmt office

A
DEMOLITION PLAN
 C1.1
 SCALE: 1" = 2'



GENERAL NOTES

- 1) ALL WORK SHALL BE ACCORDING TO THE REQUIREMENTS OF THE ALASKA DEPARTMENT OF LABOR, INDUSTRY AND COMMERCE, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, AND THE FEDERAL SAFETY AND HEALTH ACT OF 1970.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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- 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 18) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
- 19) THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DEMOLITION NOTES

- 1) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 2) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 3) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 4) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
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- 15) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 16) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 17) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 18) REMOVE EXISTING CONCRETE AND REINFORCEMENT.
- 19) REMOVE EXISTING CONCRETE AND REINFORCEMENT.

DEMOLITION LEGEND

- 1. EXISTING CONCRETE AND REINFORCEMENT
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- 17. EXISTING CONCRETE AND REINFORCEMENT
- 18. EXISTING CONCRETE AND REINFORCEMENT
- 19. EXISTING CONCRETE AND REINFORCEMENT

<p>KENAI PENINSULA BOROUGH SOUTH PENINSULA HOSPITAL HOMER MEDICAL CLINIC EXPANSION HOMER, ALASKA</p>		<p>PROJECT: 11123 DRAWING: 11123 DATE: JAN. 15, 2015 DESIGN DEVELOPMENT DEMOLITION PLAN</p>
<p>5</p>	<p>1</p>	<p>C1.1</p>

KENAI PENINSULA BOROUGH
SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION
HOMER, ALASKA

PROJECT NO. 111439
DRAWN BY: [Name]
DATE: JUNE 21, 2011
DESIGN/DEVELOPMENT
SITE
LAYOUT
PLAN
PAGE NO. C2.1

GENERAL NOTES

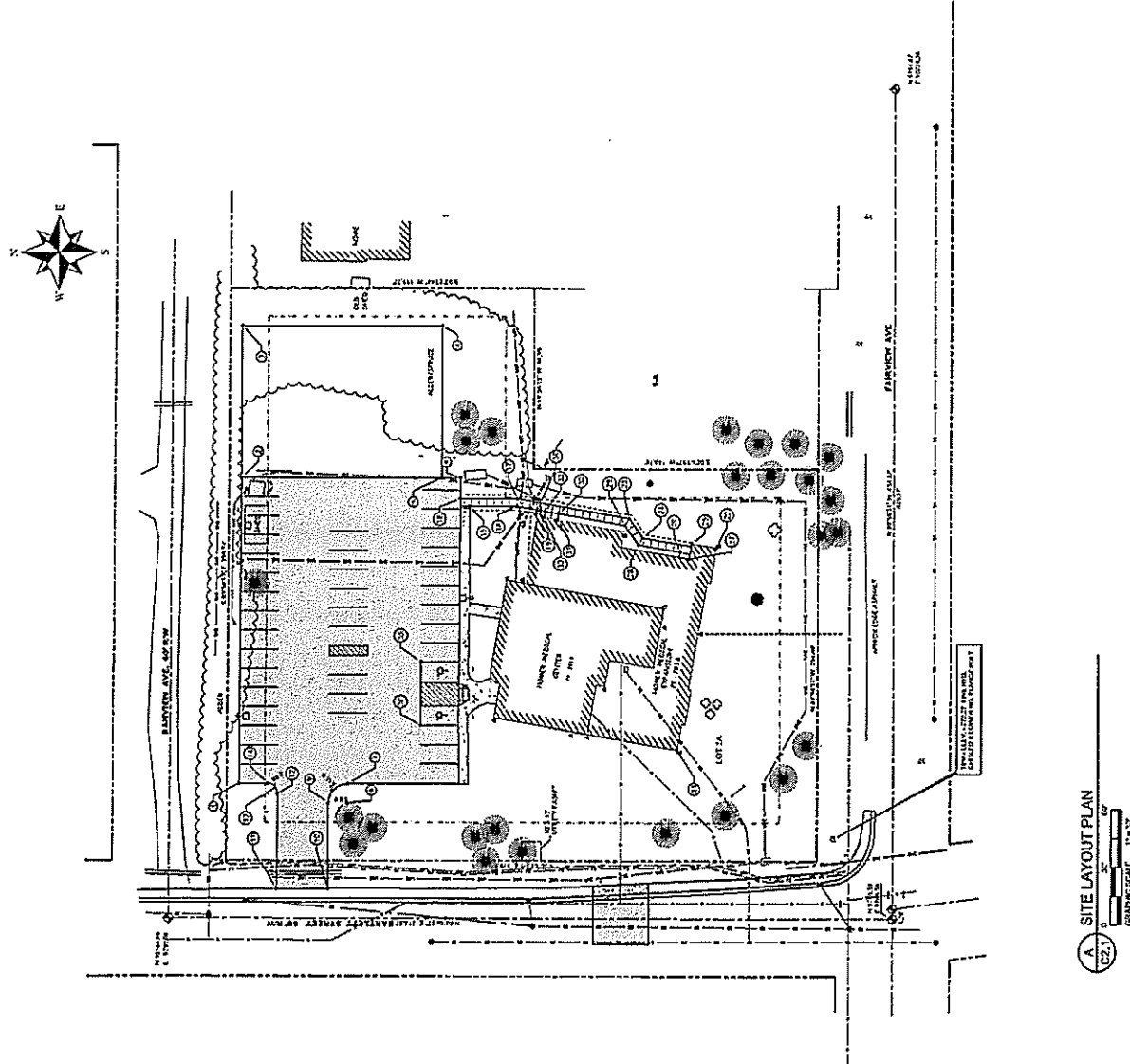
- 1) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. ACTUAL DEPTH, LOCATION, AND TYPE OF UTILITIES ARE TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION, DEPTH, AND TYPING OF ALL UTILITIES LOCATED FROM TO BE LOCATED IN ALASKA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, DEPTH, AND TYPING OF ALL UTILITIES LOCATED FROM TO BE LOCATED IN ALASKA.
- 2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, DEPTH, AND TYPING OF ALL UTILITIES LOCATED FROM TO BE LOCATED IN ALASKA.
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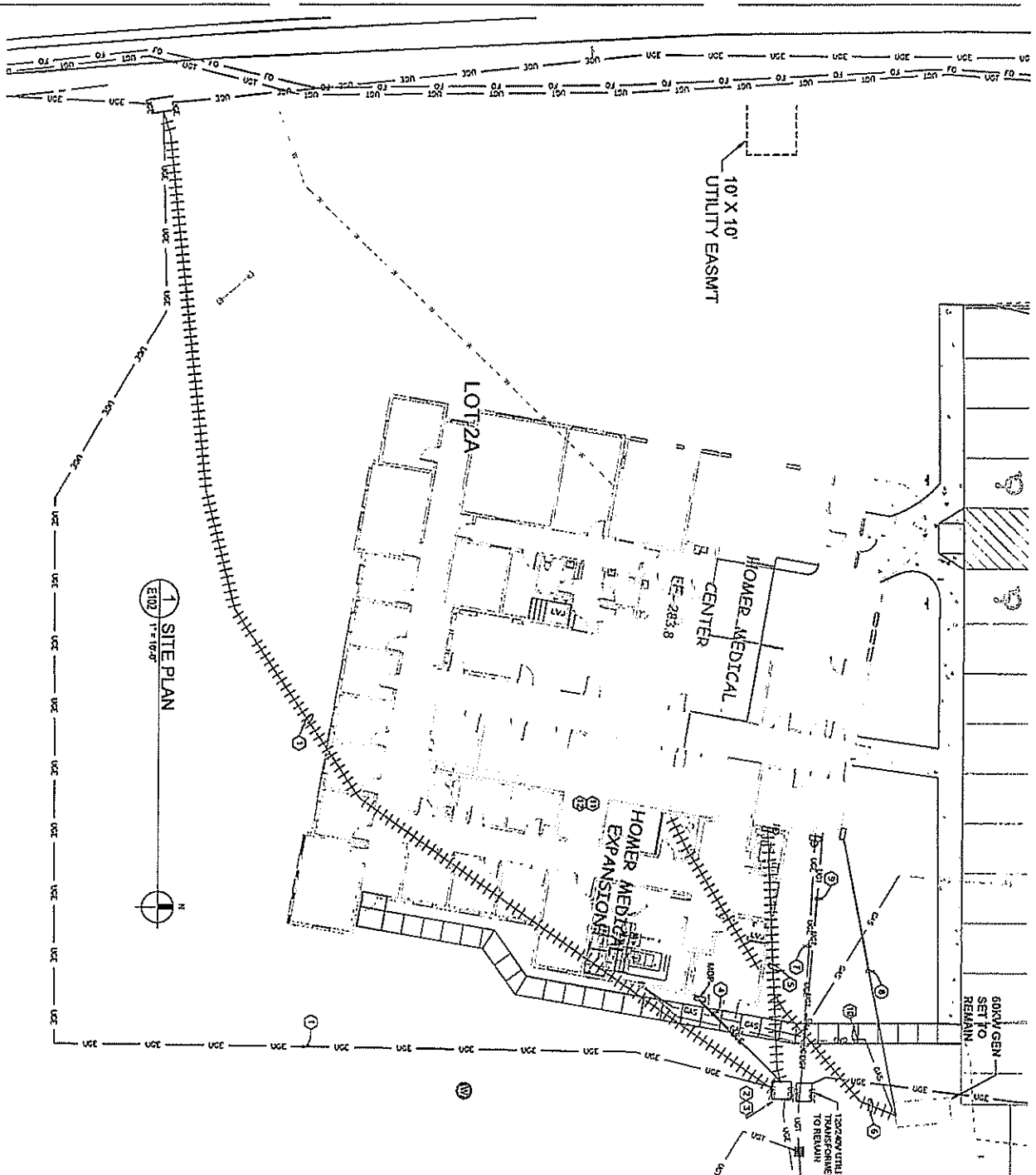
POINT SCHEDULE

Point #	Utility	Category	Description
21	1024.84	W77.25	CORNER
22	921.47	7976.73	TC
23	7972.26	8048.02	TC
24	7972.26	8048.02	TC
25	7972.26	8048.02	TC
26	7972.26	8048.02	TC
27	7972.26	8048.02	TC
28	7972.26	8048.02	TC
29	7972.26	8048.02	TC
30	7972.26	8048.02	TC
31	7972.26	8048.02	TC
32	7972.26	8048.02	TC
33	7972.26	8048.02	TC
34	7972.26	8048.02	TC
35	7972.26	8048.02	TC
36	7972.26	8048.02	TC

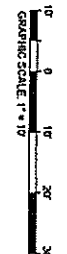
POINT SCHEDULE

Point #	Utility	Category	Description
1	1024.84	W77.25	EP
2	921.47	7976.73	TC
3	7972.26	8048.02	TC
4	7972.26	8048.02	TC
5	7972.26	8048.02	TC
6	7972.26	8048.02	TC
7	7972.26	8048.02	TC
8	7972.26	8048.02	TC
9	7972.26	8048.02	TC
10	7972.26	8048.02	TC
11	7972.26	8048.02	TC
12	7972.26	8048.02	TC
13	7972.26	8048.02	TC
14	7972.26	8048.02	TC
15	7972.26	8048.02	TC
16	7972.26	8048.02	TC
17	7972.26	8048.02	TC
18	7972.26	8048.02	TC
19	7972.26	8048.02	TC
20	7972.26	8048.02	TC

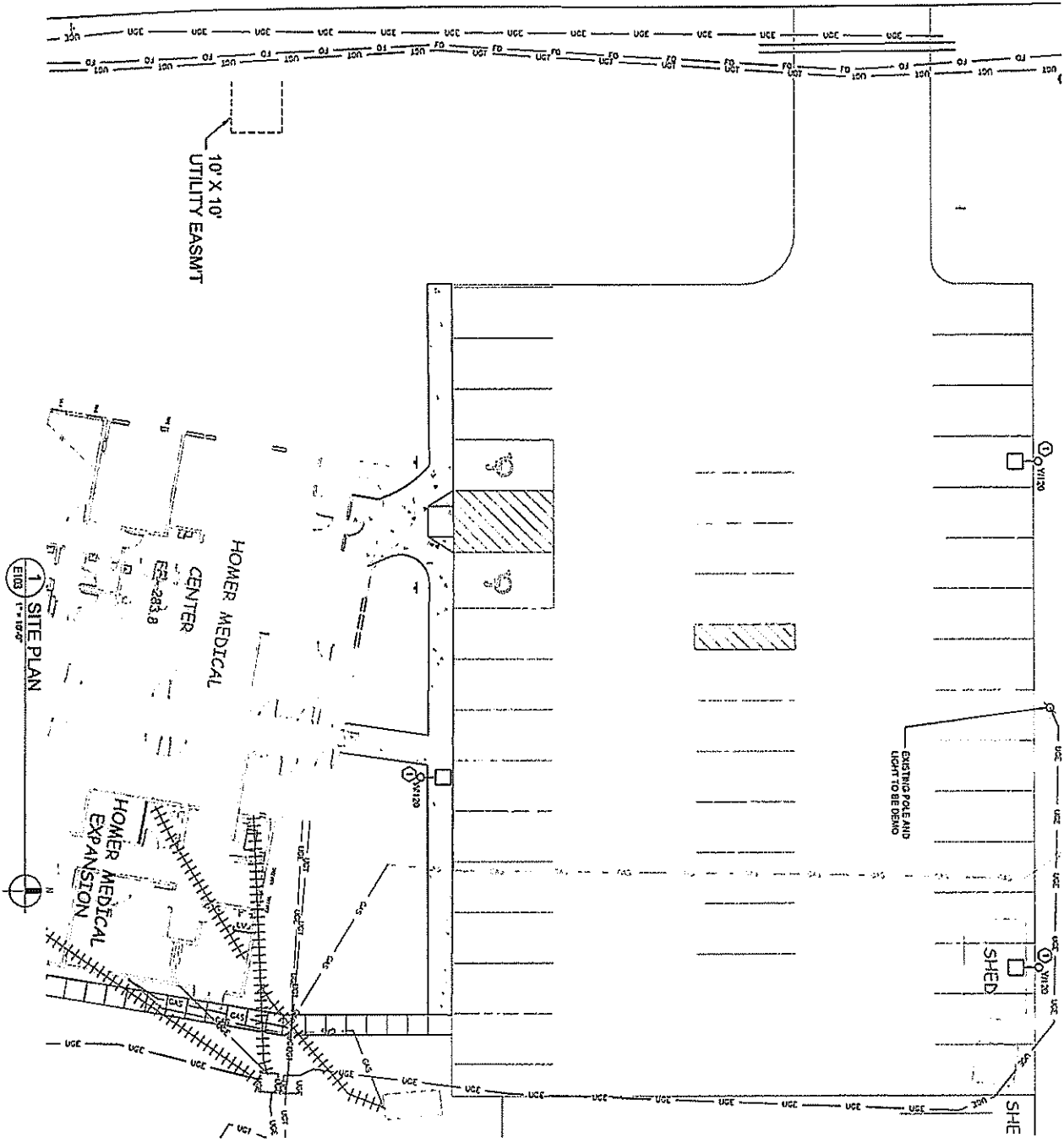




- SHEET NOTES:**
- ① COORDINATE WITH ELECTRIC UTILITY HOUSER ELECTRIC SECTIONNER TO REMOVE UTILITY FROM LINE FROM EXISTING UNDERGROUND FEEDER TO NEW SERVICE TRANSFORMER.
 - ② COORDINATE WITH HEA TO REMOVE EXISTING 20KV 3-PHASE TRANSFORMER.
 - ③ COORDINATE WITH HEA TO PROVIDE A NEW 480V/277V TRANSFORMER TO FEED NEW.
 - ④ COORDINATE WITH HEA TO PROVIDE A NEW UNDERGROUND FEED TO CT ENCLOSURE AND AMP, TRANSFORMER TO REMAIN.
 - ⑤ DEMOLISH 20KV 3-PHASE FEEDER.
 - ⑥ COORDINATE WITH MECHANICAL TO DEMOLISH GAS FEED TO GENERATOR.
 - ⑦ EXISTING 120/240V UNDERGROUND FEEDER TO REMAIN.
 - ⑧ EXISTING GENERATOR UNDERGROUND FEEDER TO REMAIN.
 - ⑨ EXISTING UNDERGROUND UTILITY TELEPHONE CABLE TO REMAIN.
 - ⑩ COORDINATE WITH MECHANICAL TO REFEED GAS TO GENERATOR.
 - ⑪ DEMOLISH EXTERIOR RECEPTACLE FOR NEW ADDITION.
 - ⑫ DEMOLISH EXTERIOR WALL PACK LIGHT FOR NEW ADDITION.



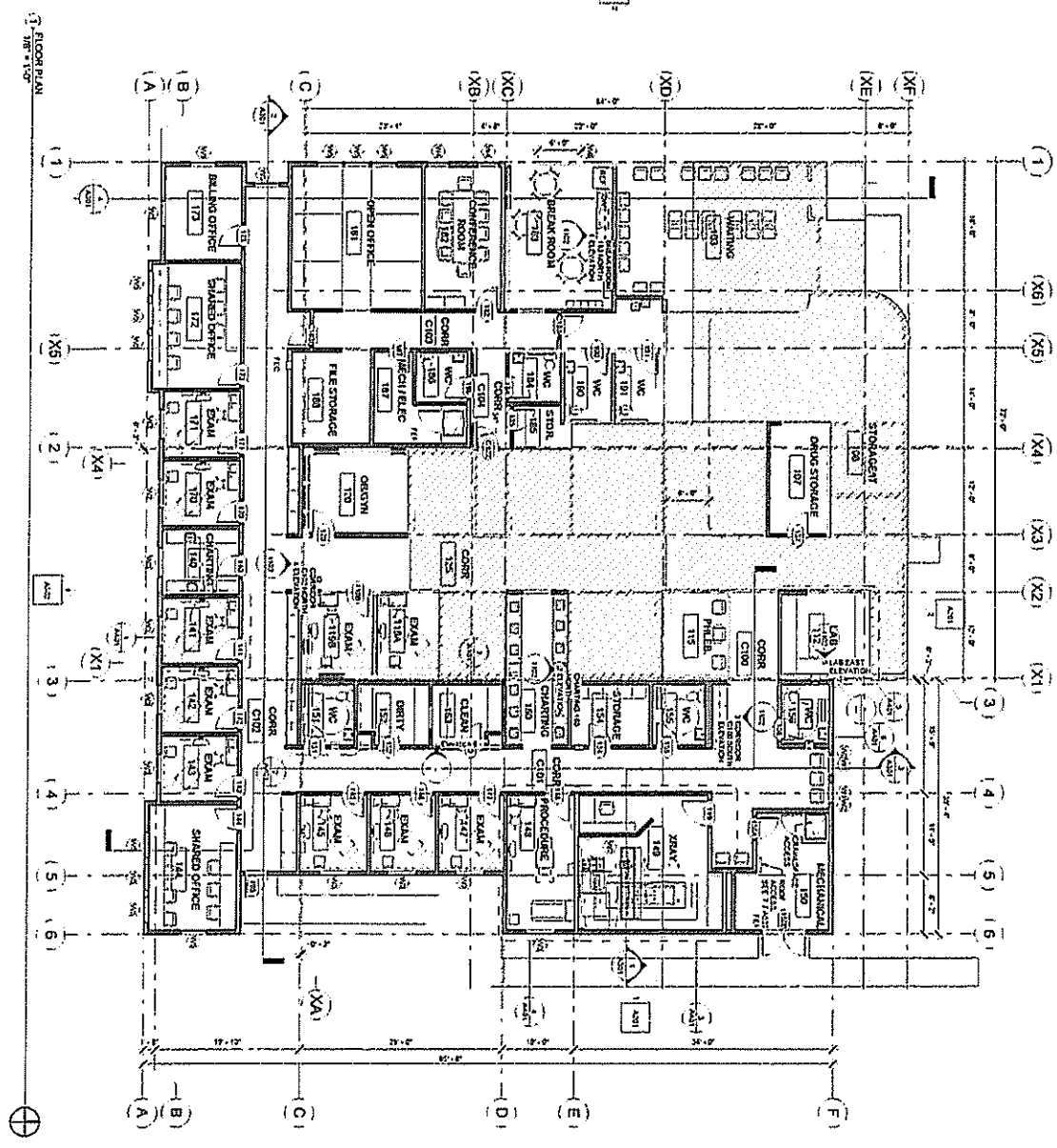
PROJECT NO. E102	PROJECT DATE DRAWN BY REVISIONS DESIGNED/DEVELOPER/CHK DATE 6-23-2015 SWS CWC	PROJECT TITLE ELECTRICAL SITE PLAN			KENAI PENINSULA BOROUGH SOUTH PENINSULA HOSPITAL HOMER MEDICAL CLINIC EXPANSION	
					HOMER, ALASKA	



- NOTES:**
1. MOUNT LED LIGHT ON 3" CONCRETE POLE BASE AND 25-0" POLE.
 2. WALL MOUNTED FIXTURES AT 15 FT ABOVE FINISHED GRADE. PROVIDE BACK LIGHT SHIELD FOR FIXTURES TO PREVENT LIGHT TRESSPASS. MOUNT PARKING LOT LIGHT FIXTURES WITH SHIELD FINISHED GRADE FINISHED GRADE.

LIGHTING CALCULATION SUMMARY	
Parking lot	4,375
USEFUL ILLUMINATION	11.91
USEFUL ILLUMINATION	11.91
PARKING LOT	25.1
USEFUL ILLUMINATION	25.1
NOTES: USE USEFUL ILLUMINATION VALUES FROM THE ILLUMINATION RECOMMENDATION GUIDE (EXCEPT WHERE SHOWN OTHERWISE).	

KENAI PENINSULA BOROUGH				SOUTH PENINSULA HOSPITAL HOMER MEDICAL CLINIC EXPANSION	HOMER, ALASKA
E103					
PROJECT NO.	E103	<p>62</p>			
DATE	5/20/20	<p>62</p>			
DESIGN DEVELOPMENT	ENC	<p>62</p>			
ELECTRICAL PARKING LOT LIGHTING PLAN	ENC	<p>62</p>			



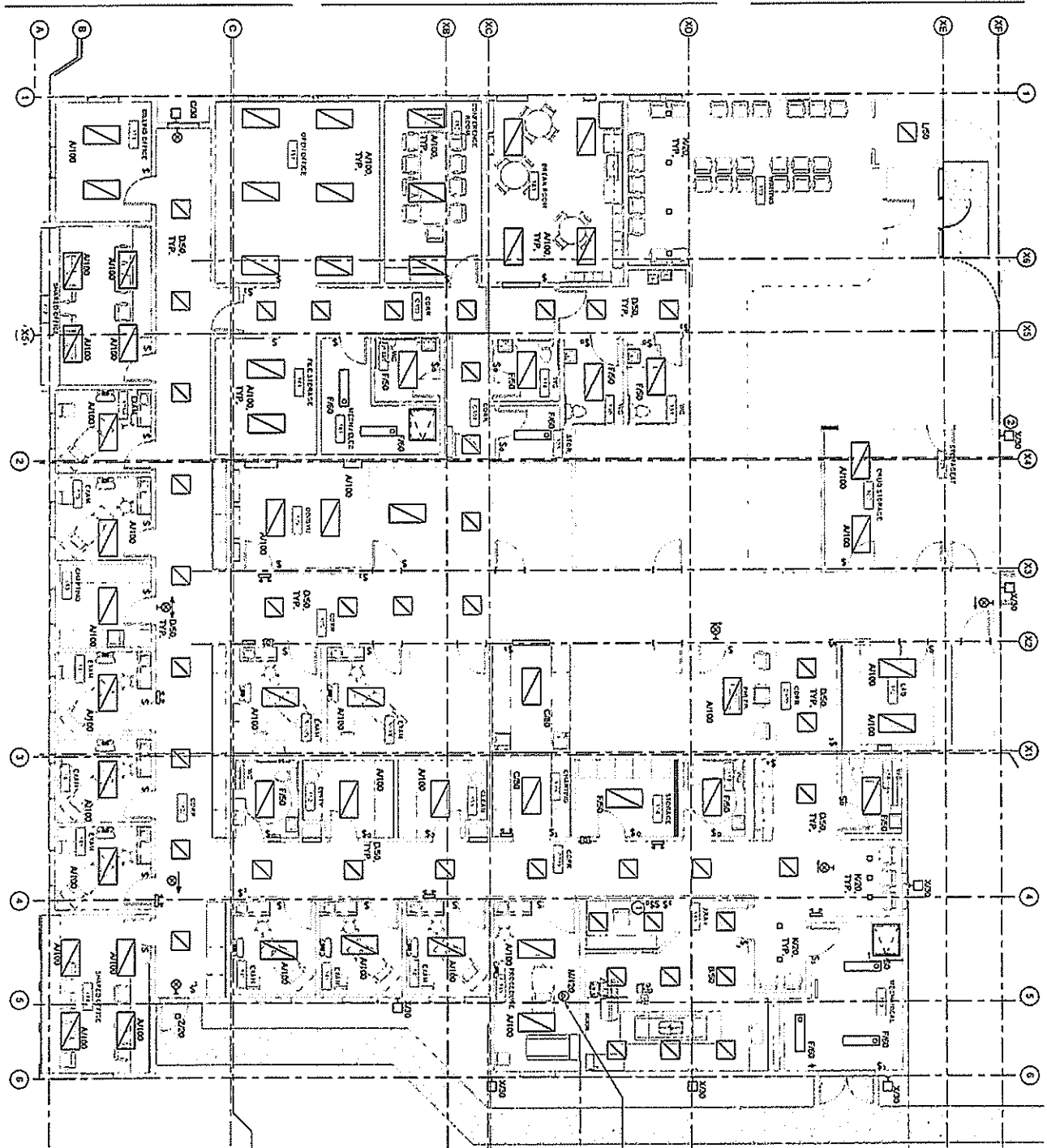
FLOOR PLAN SHEET NOTES

- 1 PARTITION TYPE, FINISHES AND SPOILING THE FLOOR FROM EXISTING ARE TO BE DETERMINED BY THE ARCHITECT FROM THE EXISTING FLOOR PLAN.
- 2 EXISTING PARTITION WALLS WILL BE REWORKED TO MATCH THE NEW PARTITION WALLS. EXISTING PARTITION WALLS TO BE REMOVED SHALL BE INDICATED BY A DASHED LINE.
- 3 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 4 SEE ROOM FINISH SCHEDULE FOR FINISHES.
- 5 SEE FINISHES SCHEDULE FOR FINISHES.
- 6 ALL FINISHES SHALL BE MATCHED TO THE FINISHES SCHEDULE.
- 7 FINISHES TO BE MATCHED TO THE FINISHES SCHEDULE.
- 8 ALL FINISHES SHALL BE MATCHED TO THE FINISHES SCHEDULE.
- 9 SEE FINISHES SCHEDULE FOR FINISHES.
- 10 SEE FINISHES SCHEDULE FOR FINISHES.
- 11 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 12 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 13 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 14 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 15 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 16 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 17 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 18 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 19 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.
- 20 REMOVE ALL EXISTING PARTITION WALLS, PARTITION WALLS TO BE REWORKED SHALL BE INDICATED BY A DASHED LINE.

PROJECT NO: 15180
 DATE: 6/2011
 DRAWN BY: A.M.K.
 CHECKED BY: C.M.K.
 DESIGN/REVISIONS:
 SHEET TITLE: FLOOR PLAN
 SHEET NO: A102

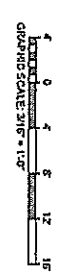
LIVINGSTON STONE
 03 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIOR DESIGN
 3700 ARCTIC BOULEVARD SUITE 301 ANCHORAGE ALASKA 99503

KENAI PENINSULA BOROUGH
**SOUTH PENINSULA HOSPITAL
 HOMER MEDICAL CLINIC EXPANSION**
 HOMER, ALASKA



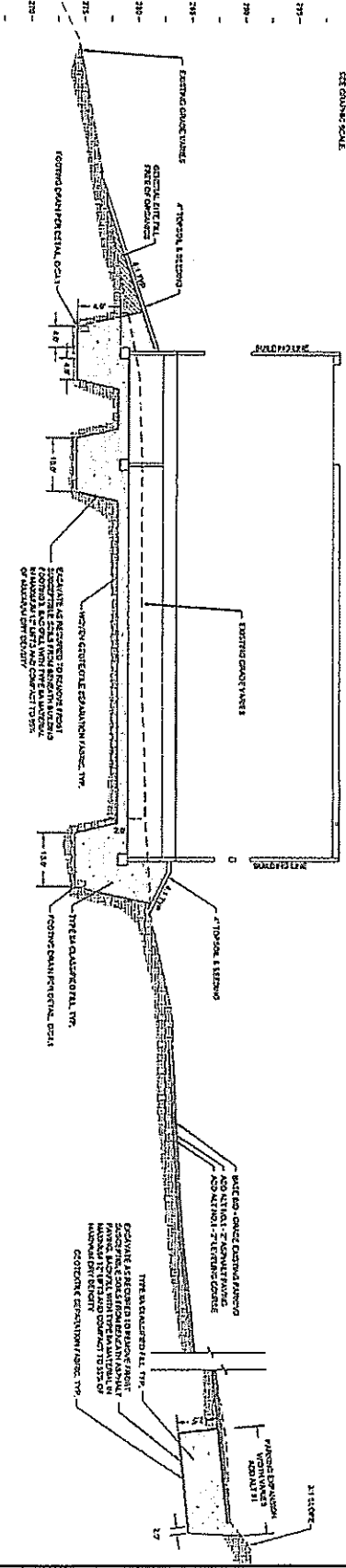
- NOTES:**
- 1 PROVIDE MULTILEVEL SWITCHING, AND
DRAISER IN XRAY ROOM 140.
 - 2 EXTERIOR WALL PACK - SPACING HOOKS OVER
EXISTING JOIST RECONNECT TO EXISTING
CIRCUIT USING CONDUITS

1
FIRST FLOOR PLAN -
LIGHTING
E200 516-9140



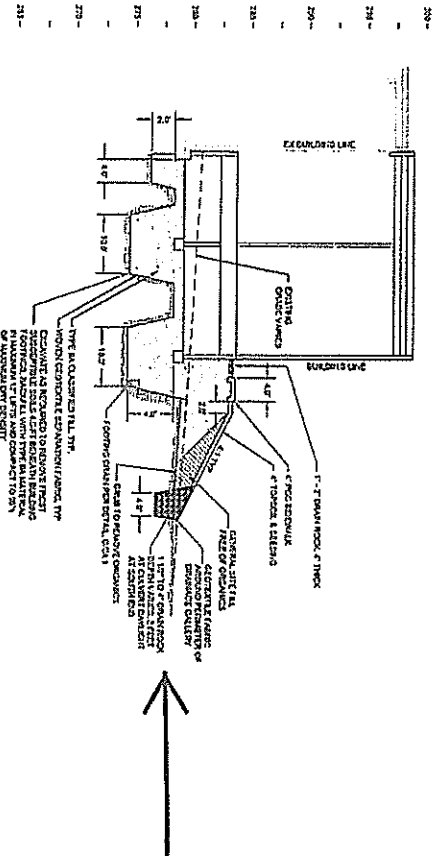
<p style="text-align: center;">MBA Consulting Engineers</p> <p style="text-align: center;">LIVINGSTON STONE</p> <p style="text-align: center;">1000 W. 10TH AVENUE ANCHORAGE, ALASKA 99501 PHONE: (907) 562-1111 FAX: (907) 562-1112</p>	<p>KENAI PENINSULA BOROUGH SOUTH PENINSULA HOSPITAL HOMER MEDICAL CLINIC EXPANSION</p> <p>HOMER, ALASKA</p>	<p>PROJECT NO: 131804 DATE: 6-29-2015 DRAWN BY: SSS CHECKED BY: ENC</p> <p>DESCRIPTION: ELECTRICAL FIRST FLOOR PLAN LIGHTING</p> <p style="text-align: right;">SHEET NO: E200</p>
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250- HOLE
VERTICAL SCALE EXPANSION
SEE GRIDING PLAN



A N-S SITE SECTION
SCALE: 1/8" = 1'-0" VERT
GRAPHIC SCALE: 1" = 8' HORIZ

NOTE:
VERTICAL SCALE RE ENLARGED
SEE GRIDING PLAN



B E-W SITE SECTION
SCALE: 1/8" = 1'-0" VERT
GRAPHIC SCALE: 1" = 8' HORIZ

KENAI PENINSULA BOROUGH
SOUTH PENINSULA HOSPITAL
HOMER MEDICAL CLINIC EXPANSION
HOMER, ALASKA



PROJECT C4.0	SITE SECTIONS	DATE AS NOTED	DESIGNED BY RKL	CHECKED BY RKL	DATE AS NOTED	CONSTRUCTION CONDITIONS N/A
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PUBLIC HEARING NOTICE

Public notice is hereby given that the City of Homer will hold a public hearing by the Homer Advisory Planning Commission on Wednesday, September 14, 2016 at 5:30 p.m. at Homer City Hall, 491 East Pioneer Avenue, Homer, Alaska, on the following matter:

A Request for a Conditional Use Permit (CUP) 16-06 at 4136 Bartlett Street, Homer Medical Center. The applicant proposes a 5000 square foot expansion at Fairview Sub No. 11 Lot 2-A Blk 5. A (CUP) is required per HCC 21.16.030 (d), Medical Clinic & HCC 21.16.040 (e) more than 8000 square feet of building area.

Anyone wishing to present testimony concerning this matter may do so at the meeting or by submitting a written statement to the Homer Advisory Planning Commission, 491 East Pioneer Avenue, Homer, Alaska 99603, by 4:00 p.m. on the day of the meeting.

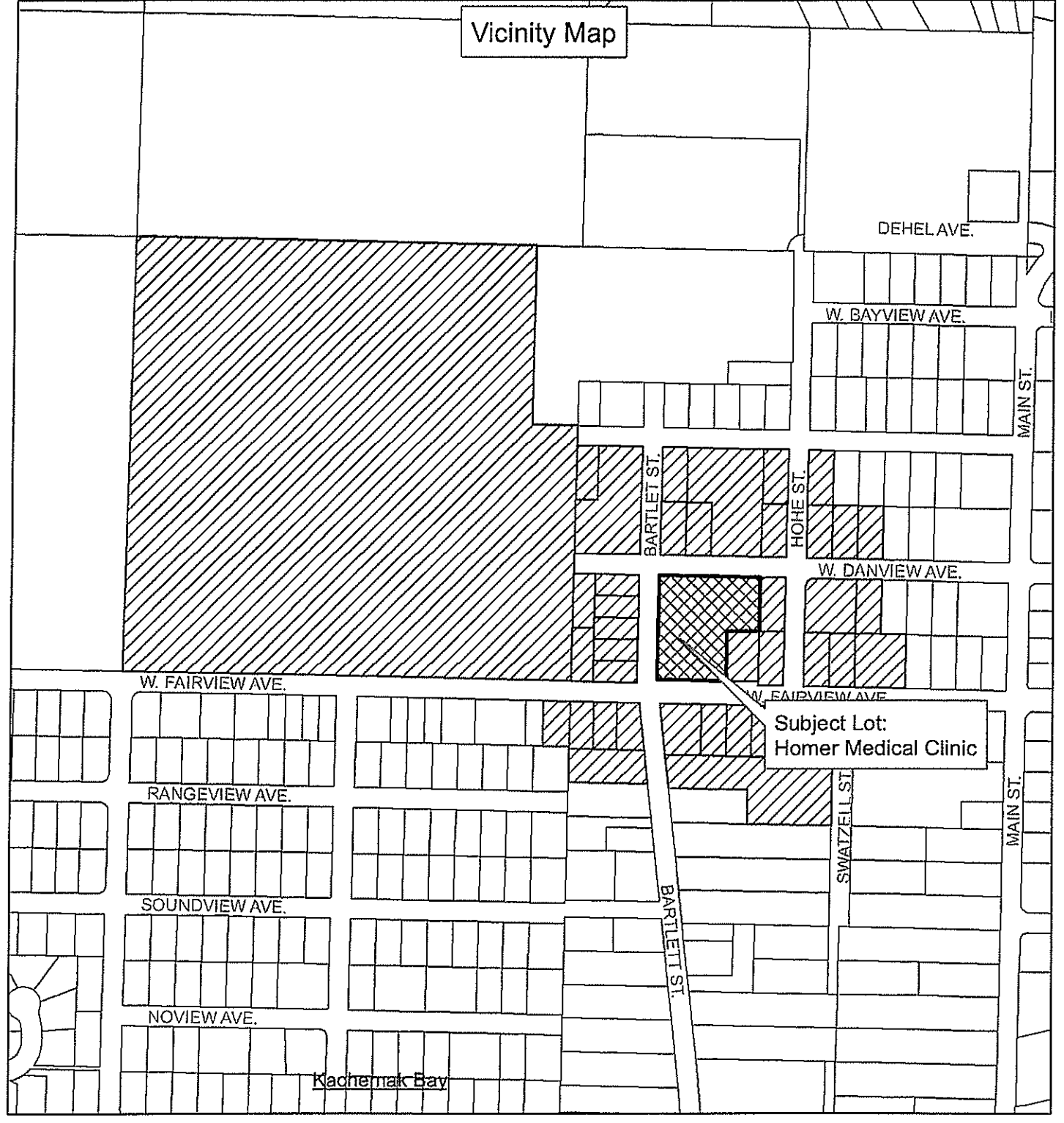
The complete proposal is available for review at the City of Homer Planning and Zoning Office located at Homer City Hall. For additional information, please contact Rick Abboud at the Planning and Zoning Office, 235-3106.

NOTICE TO BE SENT TO PROPERTY OWNERS WITHIN 300 FEET OF PROPERTY.

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VICINITY MAP ON REVERSE

Vicinity Map



City of Homer
 Planning and Zoning Department
 8.17.16

Homer Medical Center expansion
 CUP 16-06, 4136 Bartlett
 Fairview Sub No 11 Lot 2-A Blk 5

Marked lots are within 300 feet
 and property owners notified

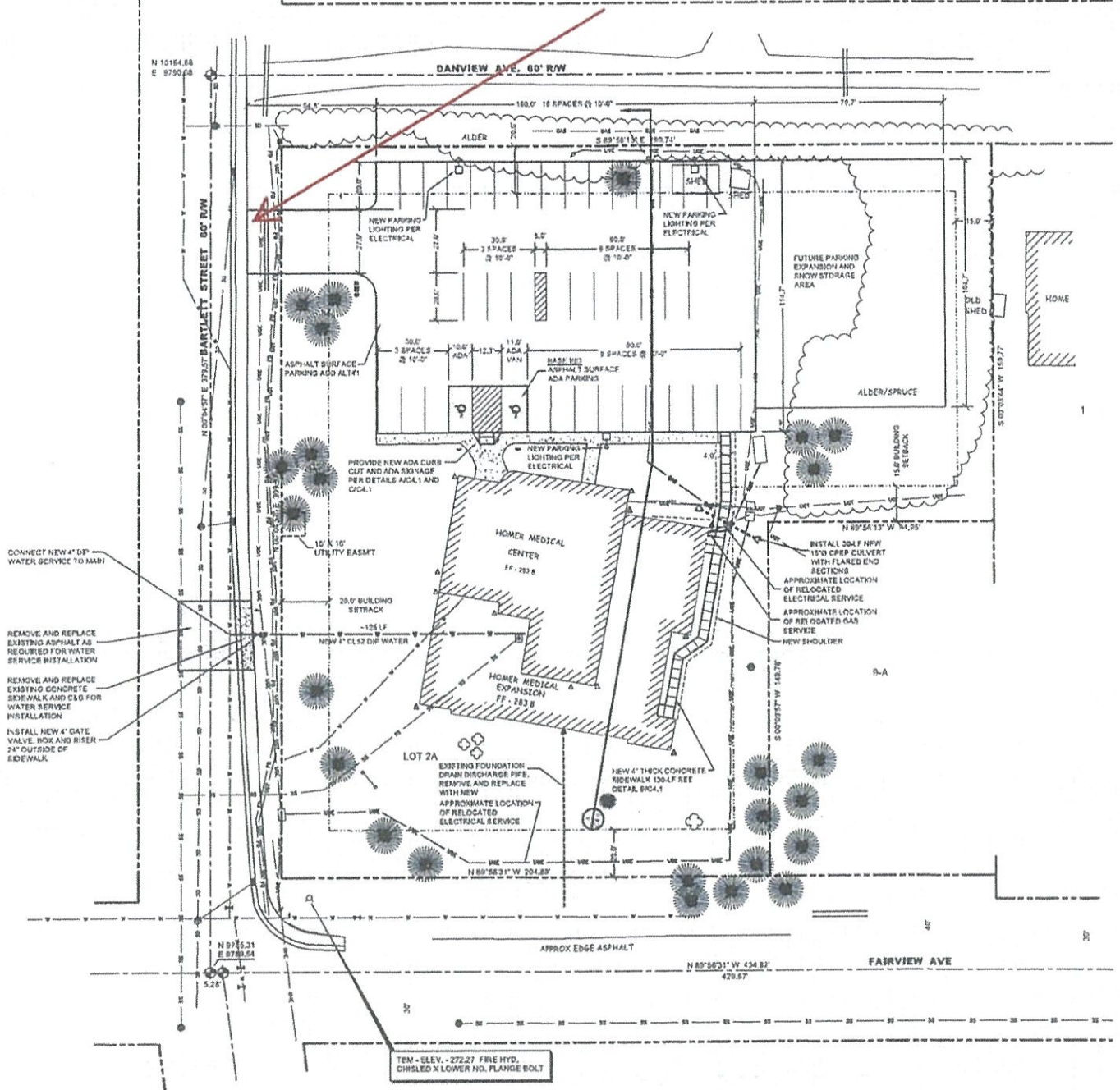


*Disclaimer:
 It is expressly understood the City of Homer, its council, board, departments, employees and agents are not responsible for any errors or omissions contained herein, or deductions, interpretations or conclusions drawn therefrom.*



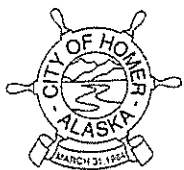
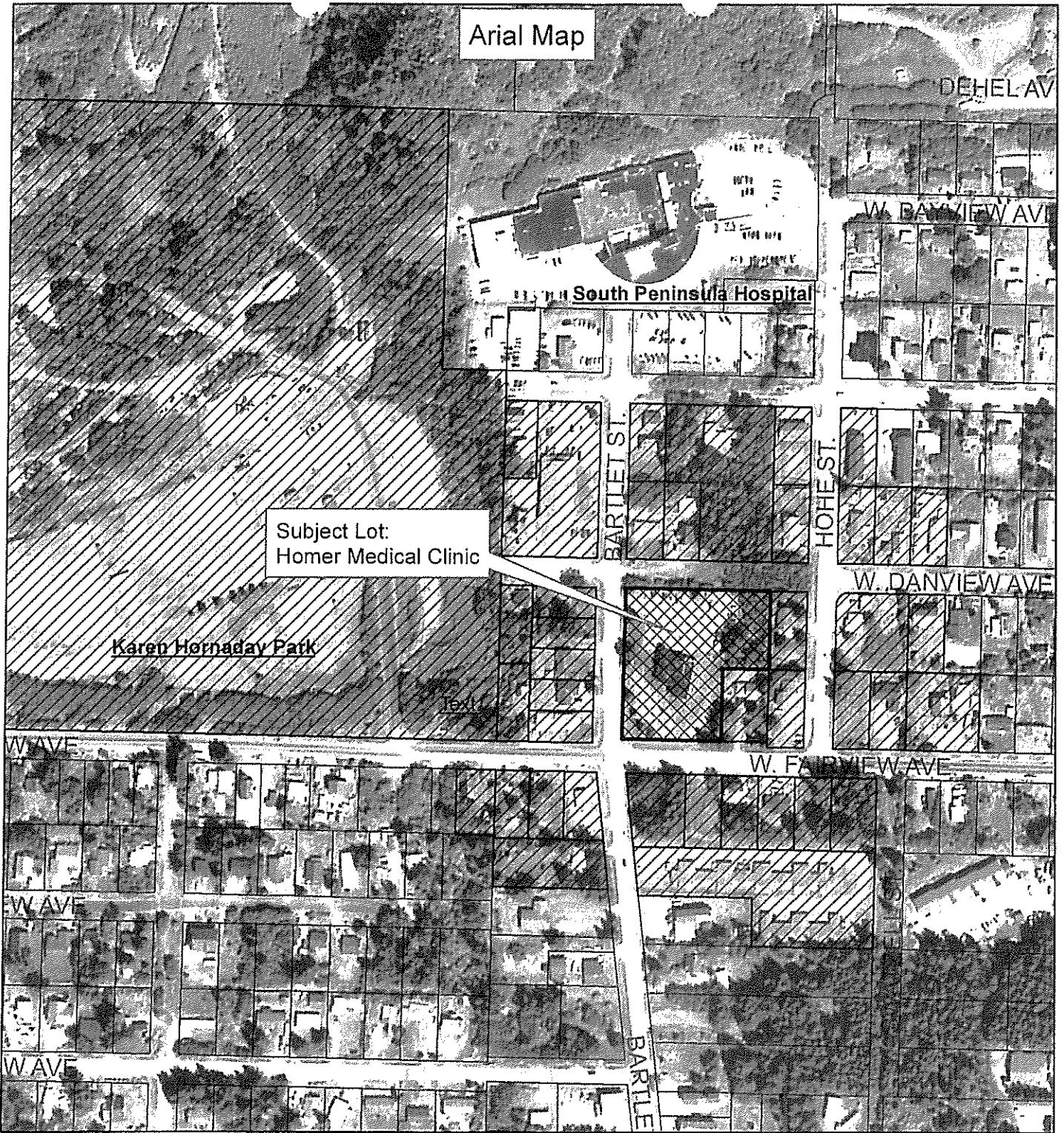
Right of Way Access Plan

Access to the property will not change from the existing. Driveway access to Bartlett Street as indicated below.



A SITE PLAN
C2.0
0 30' 60'
GRAPHIC SCALE 1" = 30'

Arial Map



City of Homer
 Planning and Zoning Department

8.29.16

Homer Medical Center expansion

Marked lots are within 300 feet
 and property owners notified



*Disclaimer:
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 Homer, its council, board,
 departments, employees and agents are
 not responsible for any errors or omissions
 contained herein, or deductions, interpretations
 or conclusions drawn therefrom.*



City of Homer

www.cityofhomer-ak.gov

Office of the City Manager

491 East Pioneer Avenue
Homer, Alaska 99603

citymanager@cityofhomer-ak.gov

(p) 907-235-8121 x2222

(f) 907-235-3148

Memorandum

TO: Mayor Wythe and Homer City Council
FROM: Katie Koester, City Manager
DATE: September 21, 2016
SUBJECT: City Manager's Report – September 26, 2016

International City Manager Association Conference

I will not be at the September 26 meeting as I am attending the International City Manager Association Conference in Kansas City. I am excited for the opportunity to learn from the many work sessions, key note speakers and colleagues. I am thankful to the Council for the support of my professional development and time to reflect on and build my skills as a manager. I would also like to thank City Clerk Johnson for filling in as Acting City Manager in my absence.

Trail Maintenance

Council will be reviewing a number of trail projects before you at this meeting. I wanted to take the CIP review as an opportunity to highlight the maintenance costs of trails. Public Works Director Meyer put together the following chart to try and quantify what it would cost to adequately maintain our trail infrastructure. This is a difficult concept to quantify and not an exact science. The reality is we spend far less on maintaining trails which is reflected in the state of the trails. The numbers Public Works Director Meyer came up with reflect an ideal level of maintenance.

	<u>Annual Operation/ Maintenance Cost</u>	<u>Annual Depreciation</u>	<u>Total Annual Cost</u>
Gravel Trail	\$6/foot	\$1.50/foot	\$7.50/foot
Paved Trail	\$5/foot	\$4.50/foot	\$9.50/foot

Gravel Trail Maintenance - includes grading, sign replacement, trash pickup, snow plowing, sanding, grass cutting.

Paved Trail Maintenance - includes crack sealing, sign replacement, trash pickup, snow plowing, sanding, grass cutting, repaving every 20 years.

All this assumes that equipment and personnel are already available to complete additional maintenance work.

Communications Tower Lease on Spit

In the last month the City has received letters of interest from four different companies interested in constructing a communications tower on the Spit. According to the City of Homer Lease Policy, a letter of interest can trigger a resolution to issue a Request for Proposals. The Lease Policy allows the City Manager to enter into negotiations with the next highest bidder when negotiations fail. However, given the level of interest and the importance of this piece of infrastructure, I believe it is in the best interest of the City to not exercise this option and instead re-issue a RFP. This will allow all parties to compete and clearly understand the requirements of the City.

I plan on introducing an ordinance at the October 10th meeting to issue a RFP for a Communications Tower on the Spit. In this ordinance, I will also be requesting a budget to hire the firm City Scape to assist in the advertising, RFP, and negotiating process. City Scape is a consultant company that specializes in assisting municipalities with tower management. Currently they work for the City of Juneau and Matsu Borough. Because the City has done a lot of work in drafting the RFP and a lease, we are starting ahead of the game. It will also allow us to include a draft lease agreement with the RFP so the needs of the City are very clear. Using a third party professional consultant will not only leave a complicated and time consuming topic to the experts, it will also provide a third party to review the proposals and eliminate any perceived bias. I will include a proposal from City Scape with the ordinance, but expect it to be below \$15,000.

Northern Edge

At the request of many coastal communities and residents, Senator Murkowski's office sent the attached letter to the Secretary of the Navy requesting greater communication between the U.S. Navy and communities affected by the Northern Edge war games. Attached to her letter is Resolution 16-081(A) from the Homer City Council as an example of community concerns.

Update from Public Works Director Meyer on Fire Hall

The Homer Fire Hall Improvements are proceeding, although at a little slower pace than originally anticipated. The floor slab in Bays 2-3 have been removed and replaced, correcting the drainage problem. Equipment is on-site to complete the site civil work (drainage, paving), but is waiting for final scope of work to be determined regarding necessary foundation work associated with the second floor building expansion. More foundation work is required to support the expansion than was originally anticipated. The budget established by the Council will allow for this additional work to be completed without adjustment. Weather permitting, the team believes that the expansion will be shelled-in before winter and interior work completed this winter as originally scheduled.

Adding electric heat to the expanded building would require upgrades to the electrical service. To eliminate this cost, Public Works has directed the team to extend natural gas to the Fire Hall and convert the electric unit heaters to natural gas; freeing up electrical service capacity for heating the proposed expansion. This work can be completed within the original budget.

Although not a part of the original scope of work, this would be the time to convert the entire building to natural gas and install energy efficient lighting. I will be proposing at the next meeting (with the introduction of an ordinance) to use the Revolving Energy Conservation Fund to provide the additional funds necessary to convert the entire building to natural gas and install efficient lighting and reduce energy consumption at the Fire Hall. This fund was created in 2010, has \$138,000 in the fund, and has been used to complete similar energy conservation improvements at City facilities (including City Hall, Public Works, Harbor facilities, Sewer Treatment Plant, Airport and Police Station).

A cost/benefit analysis will be provided to document the reasonable payback period for the improvements.

ENC:

Letter to Secretary of the Navy Mabus from Senator Murkowski

Flyer from DNR on public meeting for Kachemak Bay Critical Habitat Area updates