

LIGHTHOUSE VILLAGE DEVELOPMENT

FOR

DOYON, LIMITED

1563 & 1663 HOMER SPIT ROAD, HOMER, AK

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No.	Init.	Date	Description



WOMER & ASSOCIATES
 ARCHITECTURE ENGINEERING PLANNING
 165 South Howard Street, Spokane, WA 99201
 TEL: (509) 534-4884 FAX: (509) 534-4943 www.womer.com

PROJECT LOCATION



PROJECT INFORMATION

THE PROPOSED PROJECT IS LOCATED ON THREE ADJACENT PIECES OF PROPERTY LOCATED IN HOMER, AK. THE PARCELS ARE LOCATED AT THE NORTH END OF THE INFAMOUS 'HOMER SPIT' IN THE OCEAN DRIVE NEIGHBORHOOD ALONG HOMER SPIT ROAD. THE INTENDED USE FOR THE PROPERTY IS TO REMOVE THE EXISTING VARIETY OF STRUCTURES THAT CURRENTLY REMAIN ON SITE AND REDEVELOP THE PROPERTY TO PROVIDE A 100 ROOM HOTEL. THIS PROPERTY LOCATION PROVIDES POTENTIAL CLIENTELE A UNIQUE OPPORTUNITY FOR AN ICONIC DESTINATION LOCATION WITH VIEWS OF KACHEMAK BAY.

PROPERTY ADDRESS:

NORTH SITE:
 1563 HOMER SPIT RD, HOMER, AK 99603
 LOT 164-A, BAYVIEW SUBDIVISION #6 (1.873 ACRES)
 PARCEL ID: 18101034
 LEGAL DESCRIPTION: T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0940051 BAYVIEW SUB NO 6 LOT 164-A

SOUTH SITE:
 1663 HOMER SPIT RD, HOMER, AK 99606
 LOT 164-B BAYVIEW SID #6 (2.699 ACRES)
 PARCEL ID: 18101035
 LEGAL DESCRIPTION: T 6S R 13W SEC 21 SEWARD MERIDIAN HM 0940051 BAYVIEW SUB NO 6 LOT 164-B

GENERAL / CONSTRUCTION NOTES

- GENERAL:**
- THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS OWN EXPENSE.
- CODES:**
- ALL WORK SHALL CONFORM TO THE CURRENT ADOPTED BUILDING CODES & ORDINANCES. IN CASE OF ANY CONFLICT WHERE THE METHODS OR STANDARDS OF INSTALLATION OF THE MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE LAWS OR ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ALL SUCH CONFLICTS.
 - REFER TO CODE ANALYSIS AND CODE COMPLIANCE PLANS FOR FIRE RATED ASSEMBLIES, EXITING & EGRESS.
- DIMENSIONS:**
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE WORK AFFECTED.
 - DIMENSIONS ON THE PLANS ARE TYPICALLY TO THE FRAMING FACE OF PARTITIONS OR TO THE CENTER LINE OF COLUMNS UNLESS OTHERWISE NOTED. DOORS AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS ARE TO BE 4" FROM THE FACE OF THE ADJACENT PARTITION.
 - LOCATE WALLS THAT ARE NOT DIMENSIONED, FLUSH AND SQUARE WITH THE EXISTING STRUCTURE OR ON THE CENTERLINE OF A WINDOW MULLION OR COLUMN AS SHOWN.
 - DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
 - ABBREVIATIONS THROUGHOUT THE DRAWINGS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OF MATERIALS ACTUALLY USED ON THE PROJECT.
- GENERAL CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL AND ELECTRICAL ELEMENTS AND OTHER EXISTING CONDITIONS PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBERS. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO BEGINNING THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WALL BACKING & BLOCKING AS REQUIRED FOR ALL WALL & CEILING MOUNTED ITEMS. COORDINATE WITH ARCHITECT/TENANT LOCATIONS OF WALL MOUNTED ITEMS (INCLUDING ITEMS WHICH ARE N.I.C.) PRIOR TO COVERING.
 - ALL CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ADOPTED EDITION OF THE I.B.C.
 - OFFSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
 - PROVIDE GALVANIC INSULATION BETWEEN MATERIALS WHICH NORMALLY REACT GALVANICALLY.

ABBREVIATIONS

&	AND	ELEV.	ELEVATION
<	ANGLE	EQ.	EQUAL
@	AT	EQIP.	EQUIPMENT
⊕	CENTER LINE	EX	EXISTING
⊙	DIAMETER or ROUND	(E)	EXISTING
A.B.	ANCHOR BOLT	EXT.	EXTERIOR
A.F.F.	ABOVE FINISH FLOOR	FC	FOAM CORE
ASPH.	ASPHALT	FD	FLOOR DRAIN
BD	BOARD	FE	FIRE EXTINGUISHER
BLDG	BUILDING	FEC	FIRE EXT. CABINET
CB	BLOCKING	FF	FACTORY FINISH
CJ	CATCH BASIN	FI	FINISH FLOOR
CL	CONTROL JOINT	FIN	FIRE HYDRANT
CLG.	CEILING	FLR.	FLOOR
CLR.	CLEAR	FOUND.	FOUNDATION
CMU	CONCRETE MASONRY UNIT	FRM'G	FRAMING
DBL	DOUBLE	FT	FOOT or FEET
DTL	DETAIL	FURR.	FURRING
DM	DIMENSION	GA	GAUGE
DR	DOOR	GALV.	GALVANIZED
DS.	DOWNSPOUT	GND.	GROUND
DWG.	DRAWING	GR	GRADE
DF.	DRINKING FOUNTAIN	GWB	GYPSUM WALL BOARD
EJ	EXPANSION JOINT	HDWR.	HARDWARE
ELEC.	ELECTRICAL	HOR.	HORIZONTAL
GLB	GLULAM BEAM	HT	HEIGHT
H.C.	HOLLOW CORE	PNT	PAINT
HM.	HOLLOW METAL	PTD	PAPER TOWEL DISPENSER
HD	HARDWARE	RR	RESTROOM
INSUL.	INSULATION	RM	ROOM
INT.	INTERIOR	S.C.	SOLID CORE
JAN.	JANITOR	SCHED.	SCHEDULE
MAINT.	MAINTENANCE	S.D.	SOAP DISPENSER
MAX.	MAXIMUM	SHT'G	SHEATHING
MB.	MACHINE BOLT	SIM	SIMILAR
MECH.	MECHANICAL	SC	SQUARE
MFR.	MANUFACTURER	STD.	STANDARD
MIN.	MINIMUM	STOR.	STORAGE
MISC.	MISCELLANEOUS	STRUCT.	STRUCTURAL
MTL.	METAL	SUSP.	SUSPENDED
N	NEW	SYM.	SYMMETRICAL
NIC	NOT IN CONTRACT	T.O.	TOP OF
NO.	NUMBER	T.O.P.	TOP OF PLATE
NTS	NOT TO SCALE	TYP.	TYPICAL
O.C.	ON CENTER	UNO	UNLESS NOTED OTHERWISE
O.F.C.I.	OWNER FURNISHED & CONTRACTOR INSTALLED	VERT.	VERTICAL
PARLL.	PARALLEL	WDW.	WINDOW
PLAM	PLASTIC LAMINATE	W/O	WITHOUT
PL	PLATE	WP	WATER PROOF
PLYWD.	PLYWOOD	WR	WATER RESISTANT
P.O.C.	POINT OF CONNECTION	WSCT	WEINSCOT
		WT.	WEIGHT

SYMBOLS LEGEND

- BUILDING SECTION** - W/ BUILDING SECTION REFERENCE NUMBER ABOVE AND SHT. NO. WHERE BUILDING SECTION IS LOCATED BELOW.
- WALL SECTION** - W/ SECTION REFERENCE NUMBER ABOVE AND SHT. NO. WHERE SECTION IS LOCATED BELOW.
- EXTERIOR ELEVATION** - W/ EXTERIOR ELEVATION REFERENCE NUMBER ABOVE AND SHT. NO. WHERE EXTERIOR ELEVATION IS LOCATED BELOW.
- INTERIOR ELEVATION REF. SYMBOL** - W/ INTERIOR ELEVATION NUMBERS & SHT. NO. WHERE THEY ARE LOCATED.
- DETAIL** - W/ DETAIL NUMBER @ TOP AND SHEET REFERENCE BELOW. SIM INDICATES SIMILAR.
- ROOM IDENTIFICATION SYMBOL** - ROOM NAME ABOVE W/ ROOM NUMBER IDENTIFIER BELOW.
- DOOR SYMBOL** - DOOR NUMBER REFERS TO DOOR SCHEDULE (NUMBER IS SAME AS ROOM NUMBER), LETTER (ONLY PRESENT IF MULTIPLE DOORS) CORRESPONDS TO QUANTITY OF DOORS SERVING THE LARGER SPACE OR DEPARTMENT.
- WINDOW SYMBOL** - WINDOW LETTER REFERS TO WINDOW SCHEDULE OR GLAZING TYPE.
- WALL TYPE** - WITH WALL OR PARTITION NUMBER.
- SHEET KEYNOTE** - SPECIFIC TO EACH SHEET.
- DATUM POINT** - FLOOR LEVEL ON SECTIONS, WORK, OR CONTROL POINT.
- REVISION** - NUMBER INDICATES ORDER OF CURRENT REVISION. CLOUDED AREA IDENTIFIES ELEMENTS OR AREA THAT HAVE BEEN REVISED.

PROJECT TEAM

OWNER: DOYON, LIMITED
 POINT OF CONTACT: PATRICK DUKE, CFA
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LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 COVER SHEET

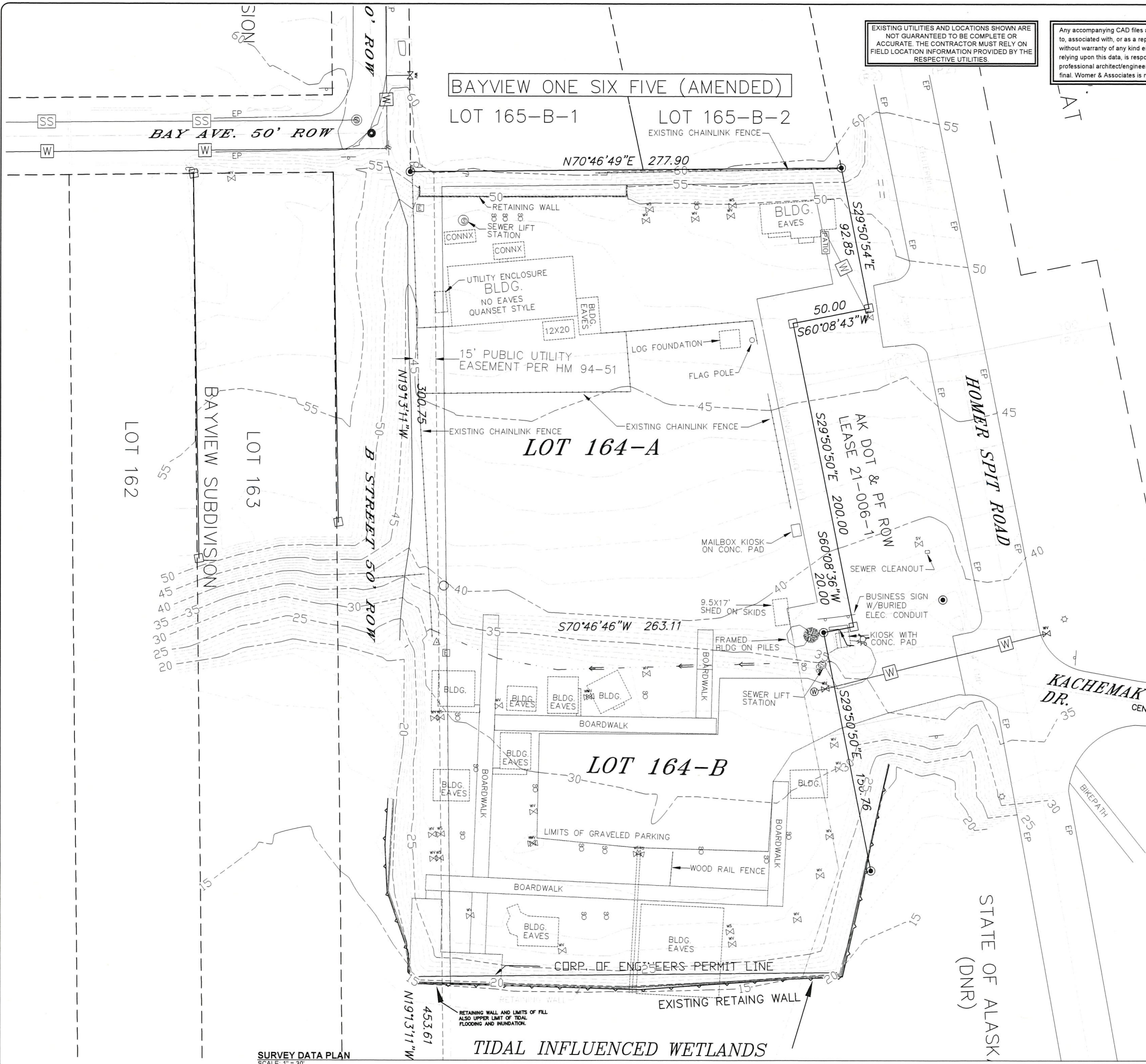
**CONCEPTUAL LEVEL DESIGN:
 PLANNED UNIT DEVELOPMENT
 DRAWING SET**

NOVEMBER 15, 2023

Job No.	867-001
Date	11-15-2023
Designed LRE	
Drawn LRE	
Checked RJM	

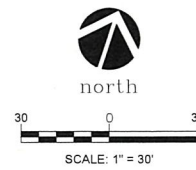
G0.00

WOMER CIVIL 2016 CTB
 11/13/23 19:22 CADE EGBERT | P.067 - Doyon067.001 - Lighthouse Village Development Preadesign05 - Working Documents02 - CivilSheetsC1.00 SURVEY DATA PLAN.dwg



EXISTING UTILITIES AND LOCATIONS SHOWN ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR MUST RELY ON FIELD LOCATION INFORMATION PROVIDED BY THE RESPECTIVE UTILITIES.

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SURVEYOR NOTES

HORIZONTAL DATUM IS RANDOM ASSUMED. VERTICAL DATUM IS BELIEVED TO BE NAVD88 BASED ON NGS STATION "HOMAIR" ELEVATION OF 70.52, BUT VERTICAL DATUM NEEDS TO BE VERIFIED.

LEGEND

- ⊥ GUY/ANCHOR
- ⊕ POWER POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ LIGHT POLE
- ⊕ ELECTRICAL CABINET
- ⊕ SIGN
- ⊕ SEWER MANHOLE
- ⊕ SEWER VALVE
- ⊕ SEWER CLEAN OUT
- ⊕ WATER VALVE

SURVEY DATA PLAN
 SCALE: 1" = 30'

REVISIONS	
No.	Description



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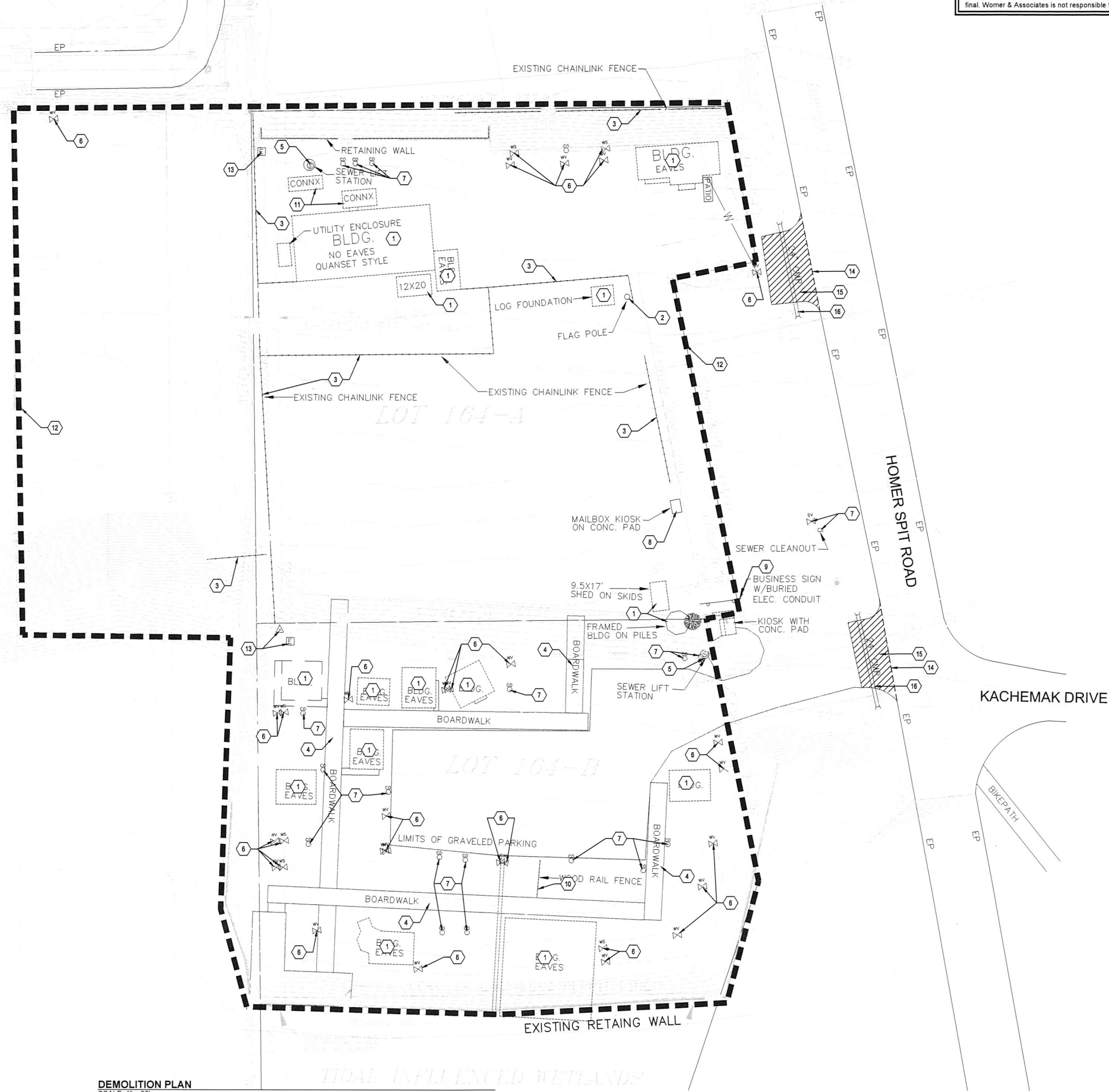
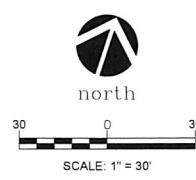
LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 SURVEY DATA PLAN

Job No: 857401
 Date: 11/15/23
 Drawn: CCE
 Checked: MPM

C1.00

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DEMOLITION SCHEDULE

- ① REMOVE EXISTING BUILDING AND FOUNDATION
- ② REMOVE EXISTING FLAG POLE
- ③ REMOVE EXISTING CHAINLINK FENCE
- ④ REMOVE EXISTING BOARDWALK
- ⑤ REMOVE EXISTING SEWER LIFT STATION
- ⑥ REMOVE EXISTING WATER VALVE
- ⑦ REMOVE EXISTING SEWER CLEANOUT
- ⑧ REMOVE EXISTING MAILBOX KIOSK AND CONCRETE PAD
- ⑨ REMOVE EXISTING BUSINESS SIGN AND ELECTRICAL CONDUITS
- ⑩ REMOVE EXISTING WOOD FENCE
- ⑪ REMOVE EXISTING CONEX SHIPPING CONTAINER
- ⑫ REMOVE ALL TREES AND VEGETATION WITHIN PROJECT LIMITS
- ⑬ REMOVE EXISTING ELECTRICAL
- ⑭ SAWCUT EXISTING ASPHALT
- ⑮ REMOVE EXISTING ASPHALT
- ⑯ REMOVE EXISTING CULVERT

DEMOLITION PLAN
 SCALE: 1" = 30'

REVISIONS	
No.	Init. Date Description



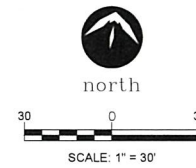
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LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 DEMOLITION PLAN

Job No: 057-001
Date: 11/15/23
Designed: CCE
Drawn: CCE
Checked: MPM
C1.10

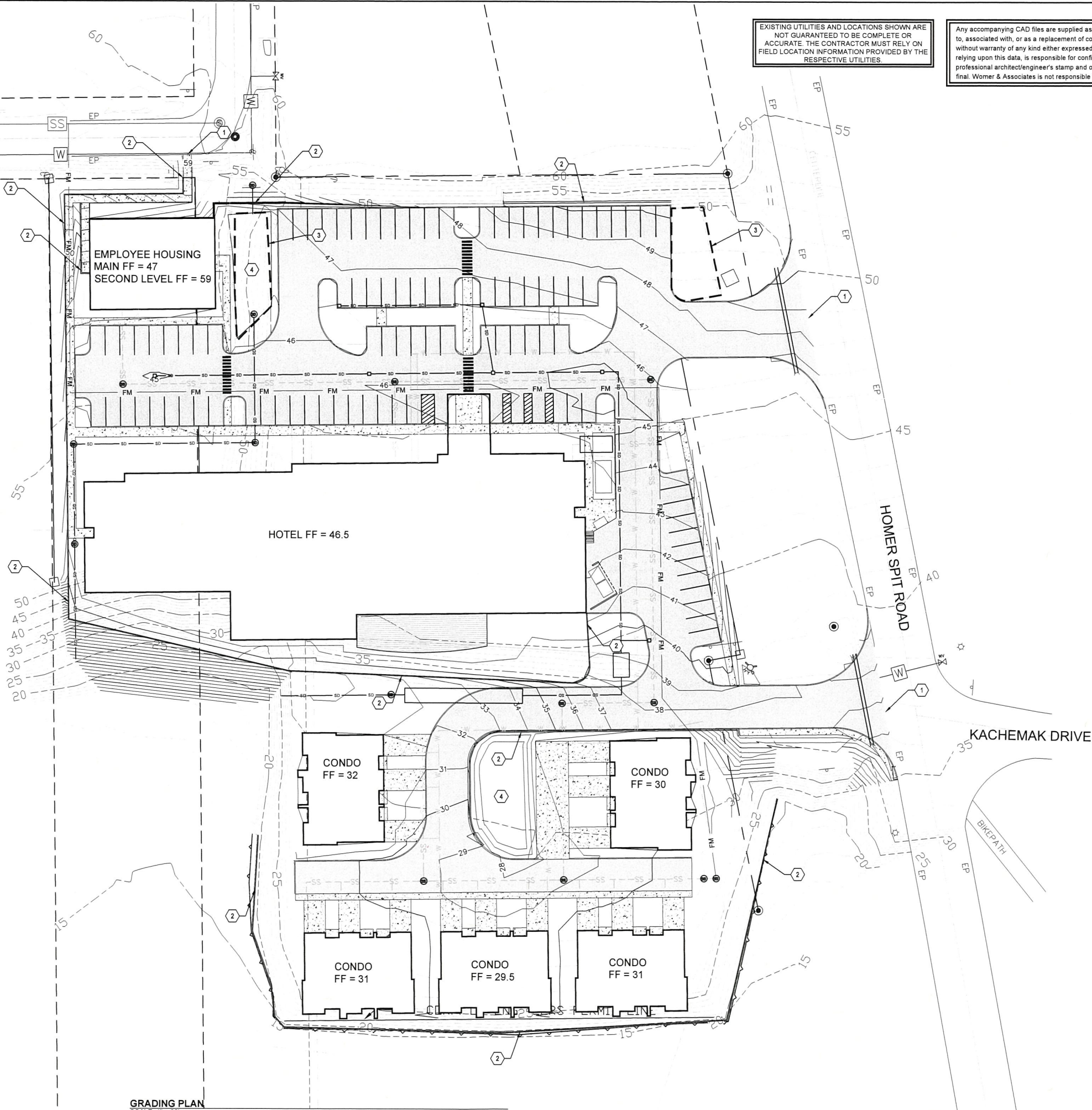
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CONSTRUCTION SCHEDULE PROVIDE

- ① MATCH EXISTING GRADE
- ② RETAINING WALL
- ③ SNOW REMOVAL AREA
- ④ DRAINAGE SWALE



GRADING PLAN
 SCALE: 1" = 30'

REVISIONS	No.	Int.	Date	Description



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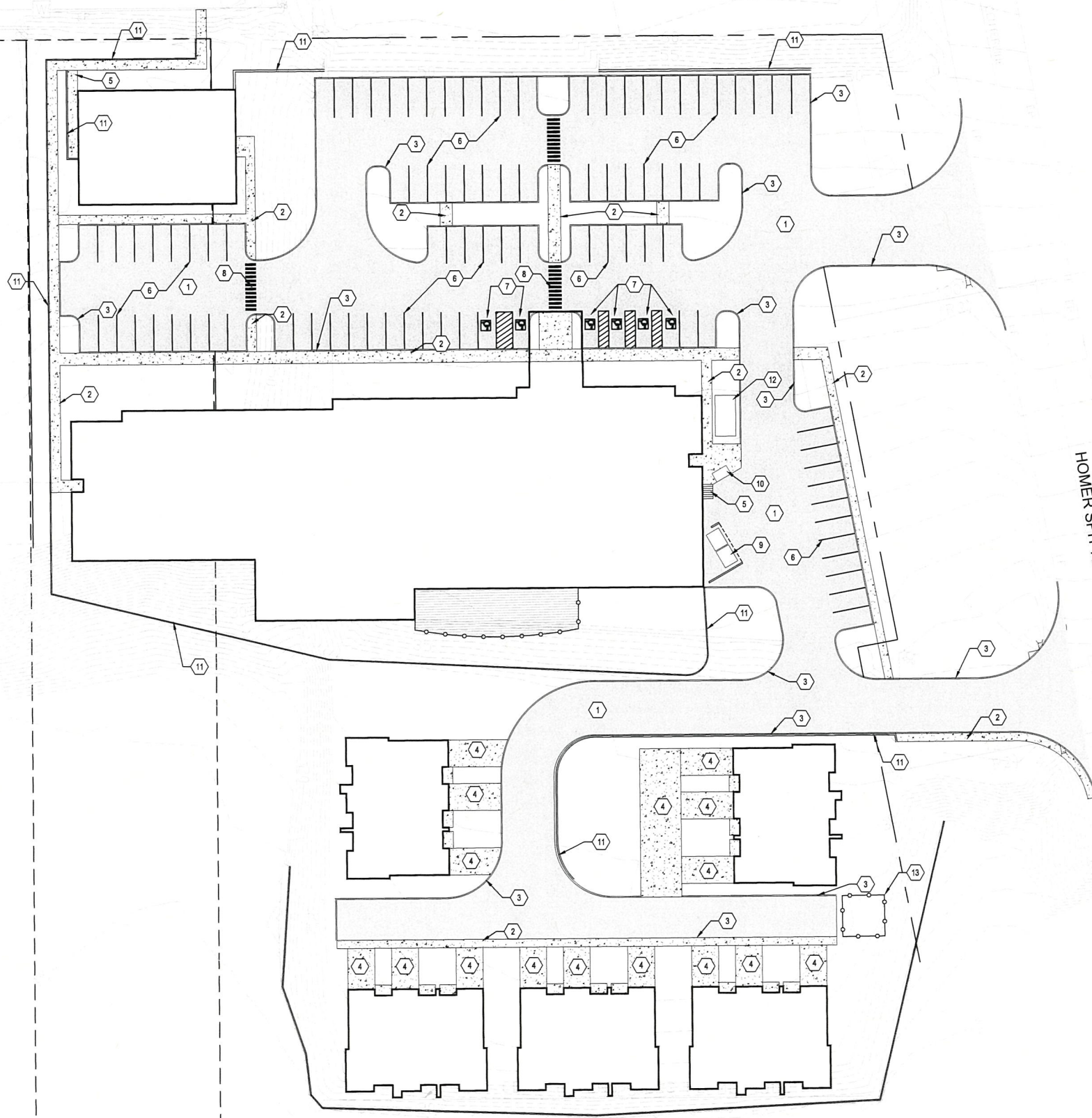
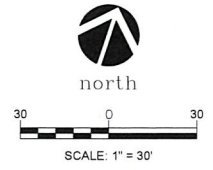
LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 GRADING PLAN

Job No: 857501
Date: 11/15/23
Designed: CCE
Drawn: CCE
Checked: MM

C2.00

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CONSTRUCTION SCHEDULE PROVIDE

- 1 HMA ASPHALT
- 2 CONCRETE SIDEWALK
- 3 CONCRETE CURB
- 4 CONCRETE DRIVEWAY
- 5 CONCRETE STAIRS
- 6 STANDARD PARKING STALL
- 7 ADA PARKING STALL
- 8 CROSSWALK MARKING
- 9 TRASH ENCLOSURE
- 10 CONCRETE LOADING DOCK
- 11 RETAINING WALL
- 12 GENERATOR
- 13 FENCE ENCLOSURE FOR LIFT STATION

SITE PLAN
 SCALE: 1" = 30'

REVISIONS	
No.	Description

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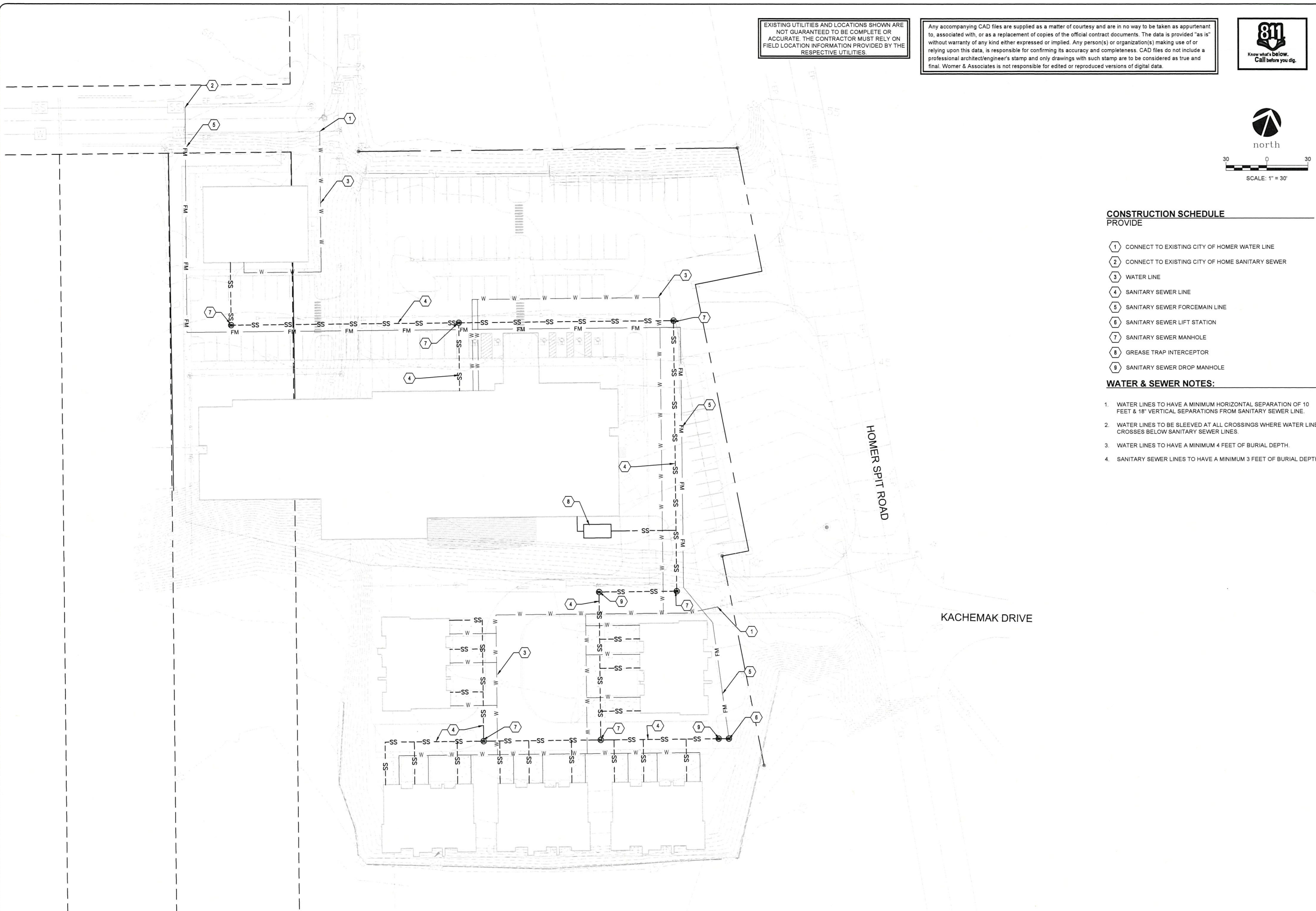
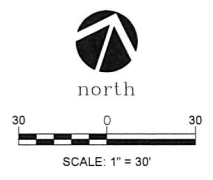
LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 SITE PLAN

Job No: 887001
Date: 11/15/23
Designed: CCE
Drawn: CCE
Checked: MPW

C4.00

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OVERALL UTILITY PLAN
 SCALE: 1" = 30'

CONSTRUCTION SCHEDULE PROVIDE

- 1 CONNECT TO EXISTING CITY OF HOMER WATER LINE
- 2 CONNECT TO EXISTING CITY OF HOME SANITARY SEWER
- 3 WATER LINE
- 4 SANITARY SEWER LINE
- 5 SANITARY SEWER FORCEMAIN LINE
- 6 SANITARY SEWER LIFT STATION
- 7 SANITARY SEWER MANHOLE
- 8 GREASE TRAP INTERCEPTOR
- 9 SANITARY SEWER DROP MANHOLE

WATER & SEWER NOTES:

1. WATER LINES TO HAVE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET & 18" VERTICAL SEPARATIONS FROM SANITARY SEWER LINE.
2. WATER LINES TO BE SLEEVED AT ALL CROSSINGS WHERE WATER LINE CROSSES BELOW SANITARY SEWER LINES.
3. WATER LINES TO HAVE A MINIMUM 4 FEET OF BURIAL DEPTH.
4. SANITARY SEWER LINES TO HAVE A MINIMUM 3 FEET OF BURIAL DEPTH.

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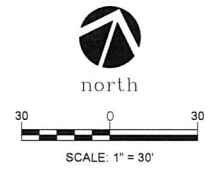
LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 OVERALL UTILITY PLAN

Job No	867-001
Date	11/15/23
Designed	CCE
Drawn	CCE
Checked	MPM

U0.00

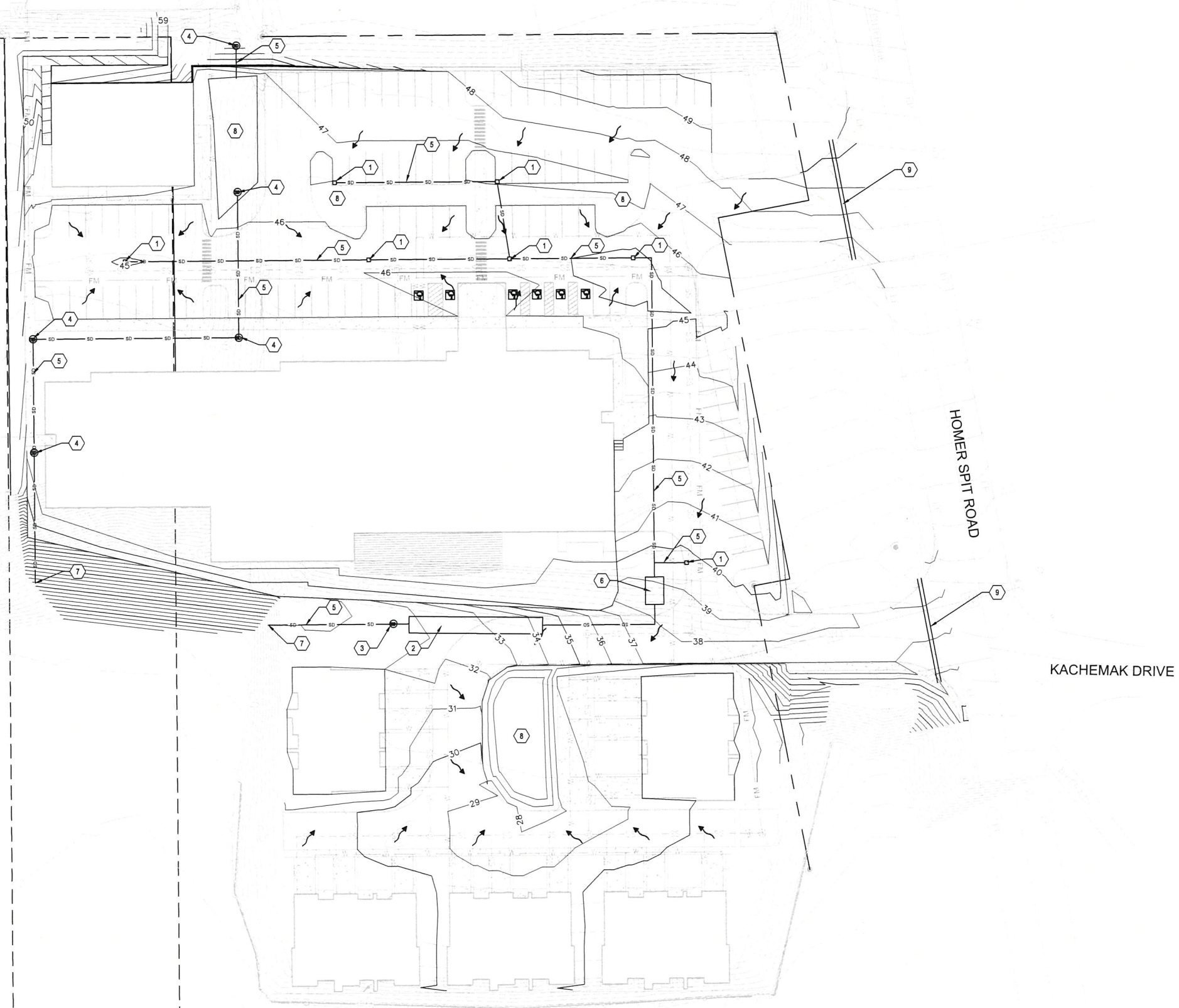
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CONSTRUCTION SCHEDULE
 PROVIDE

- 1 CATCH BASIN
- 2 9 FT DIAMETER UNDERGROUND STORMWATER STORAGE FACILITY.
- 3 STORM SEWER MANHOLE W/ ORIFICE CONTROL
- 4 STORM SEWER MANHOLE
- 5 STORM SEWER PIPE
- 6 STORMWATER VAULT WITH TREATMENT FILTERS
- 7 DISCHARGE OUTLET TO WETLANDS
- 8 SWALE
- 9 24" DIA. CMP CULVERT



STORMWATER PLAN
 SCALE: 1" = 30'

No.	Rev.	Date	Description

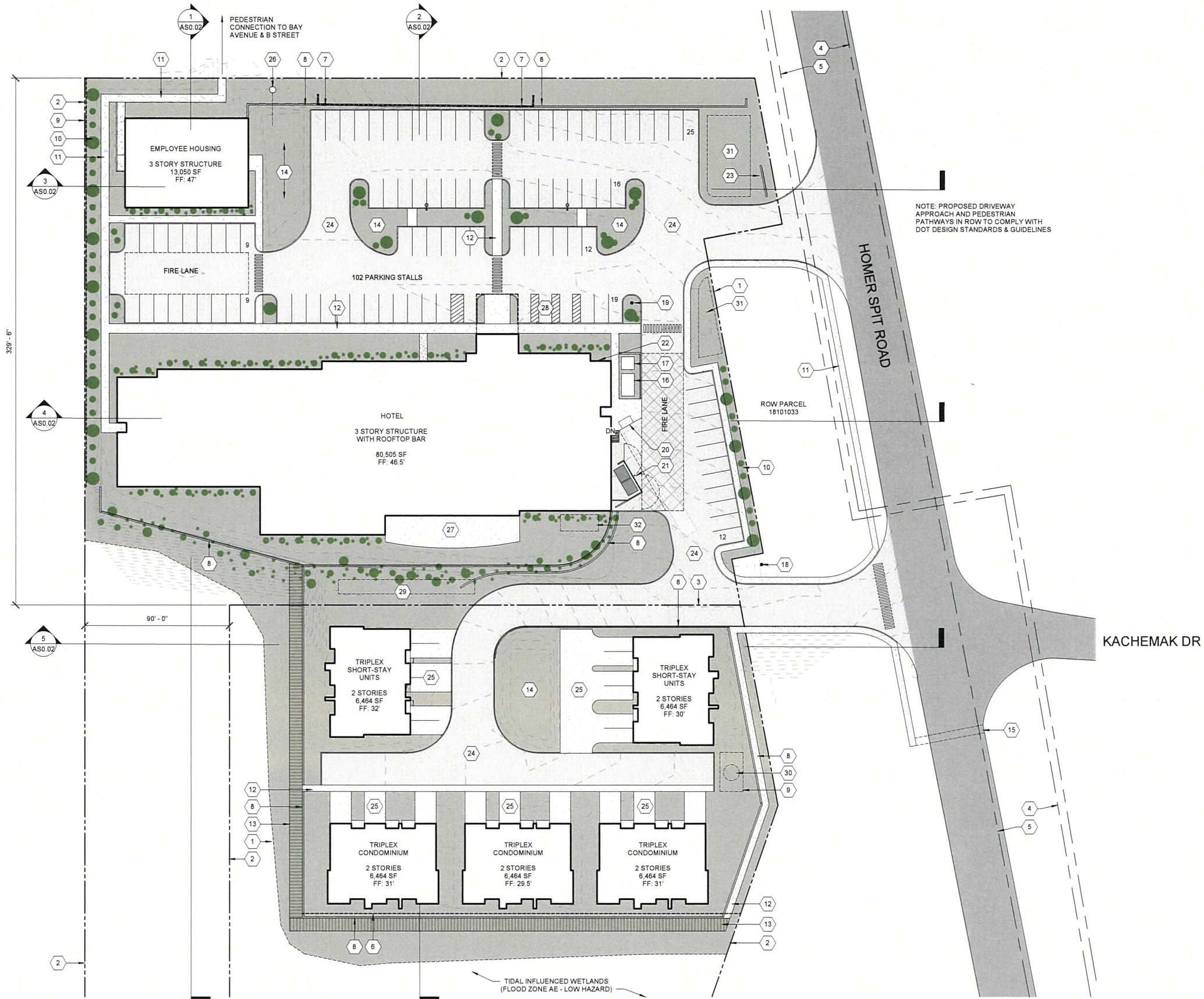


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LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 STORMWATER PLAN

Job No	867-001
Date	11/15/23
Designed	CCE
Drawn	CCE
Checked	MPM

U2.00



GENERAL NOTES

EXISTING LOTS TO BE DEVELOPED:
 LOT 163
 LOT 164-A
 LOT 164-B
 VACATED B-STREET ROW

TOTAL SITE AREA:
 6.95 ACRES

PROPOSED BUILDABLE AREA TO BE DEVELOPED:
 186,437 SF / 4.28 ACRES

PROPOSED STRUCTURE SQUARE FOOTAGE:
 EMPLOYEE HOUSING: 13,050 SF
 HOTEL: 80,505 SF
 TRIPLEX UNITS: (5) 6,464 SF
 TOTAL SF OF DEVELOPMENT: 125,875 SF

CITY OF HOMER ZONING CODE:
 ZONE: GENERAL COMMERCIAL 1 (GC1)
 BUILDING SETBACKS: 20' FROM ROW / 5' FROM OTHER LOTS
 LOCATED IN OVERLAY ZONE DISTRICT: NO
 LOCATED IN WETLAND LOCATION: NO
 LOCATED IN FLOOD ZONE: YES (AE, LOW HAZARD)
 LANDSCAPING REQUIREMENTS INCLUDE RIGHT-OF-WAY LANDSCAPED BUFFER ZONES.

PUBLIC UTILITIES
 PUBLIC WATER AND SEWER IS PROVIDED TO SITE (CITY OF HOMER PUBLIC WORKS)
 POWER IS PROVIDED TO SITE. 3-PHASE UPGRADE WILL BE REQUIRED (HOMER ELECTRIC ASSOCIATION)

PARKING REQUIREMENTS:
 NORTH LOT PARKING REQUIRED PER HCC 21.55.090:
 HOTEL - ONE PER GUEST ROOM @ 85 ROOMS = 85 STALLS
 DORMITORY - 1 PER TWO BEDS @ 40 BEDS = 20 STALLS
 NORTH LOT PARKING PROVIDED: TOTAL 102 STALLS
 SOUTH LOT PARKING REQUIRED PER HCC 21.55.090:
 DWELLINGS: TWO PER DWELLING UNIT (A REQUIRED PARKING SPACE MAY BE IN A GARAGE OR CARPORT IF THE STRUCTURE IS AT LEAST 12' WIDE, 20' LONG AND 8' HIGH) = 30 STALLS
 SOUTH LOT PARKING PROVIDED: TOTAL 30 STALLS

KEYNOTES

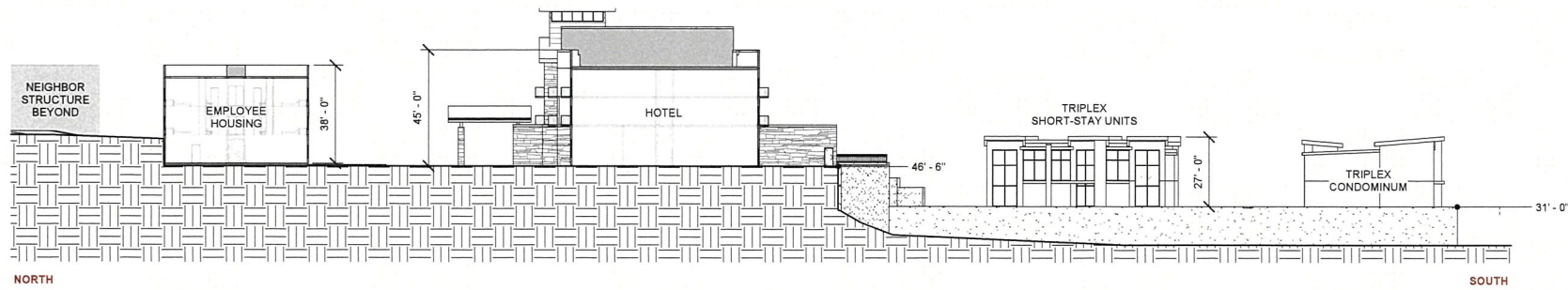
- 1 APPROXIMATE LIMITS OF CONSTRUCTION
- 2 PROPERTY LINE
- 3 PROPOSED PROPERTY LINE
- 4 EXISTING PUBLIC SEWER LINE
- 5 EXISTING PUBLIC WATER LINE
- 6 ARMY CORPS OF ENGINEERS PERMIT LINE
- 7 EXISTING RETAINING WALL
- 8 RETAINING WALL
- 9 SIGHT OBSCURING FENCE
- 10 LANDSCAPE BUFFER
- 11 PEDESTRIAN PATHWAY
- 12 CONCRETE SIDEWALK
- 13 PEDESTRIAN BOARDWALK
- 14 SWALE, SEE STORMWATER PLAN
- 15 EXISTING PEDESTRIAN CROSSWALK
- 16 GENERATOR
- 17 PAD MOUNT TRANSFORMER
- 18 EXISTING FIRE HYDRANT
- 19 FIRE HYDRANT
- 20 LOADING DOCK
- 21 TRASH ENCLOSURE
- 22 FDC CONNECTION POINT
- 23 MONUMENT SIGN
- 24 ASPHALT SURFACE
- 25 CONCRETE DRIVE AISLE
- 26 STORM / SEWER MANHOLE
- 27 CONCRETE PATIO
- 28 ACCESSIBLE PARKING STALLS
- 29 BELOW-GRADE STORMWATER STORAGE STRUCTURE
- 30 SANITARY SEWER LIFT STATION
- 31 SNOW REMOVAL AREA
- 32 BELOW-GRADE GREASE INTERCEPTOR

REVISIONS	
No.	Description



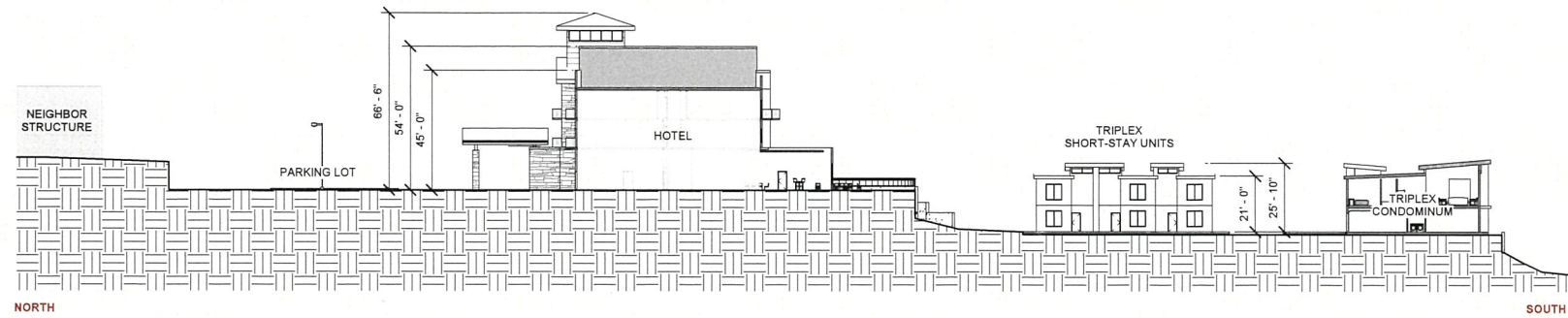
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LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
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 ARCHITECTURAL SITE PLAN



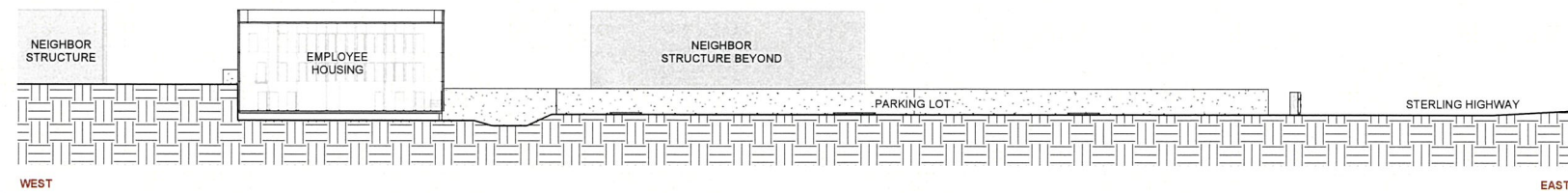
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AS0.02 SCALE: 1/32" = 1'-0" REF:A2.01



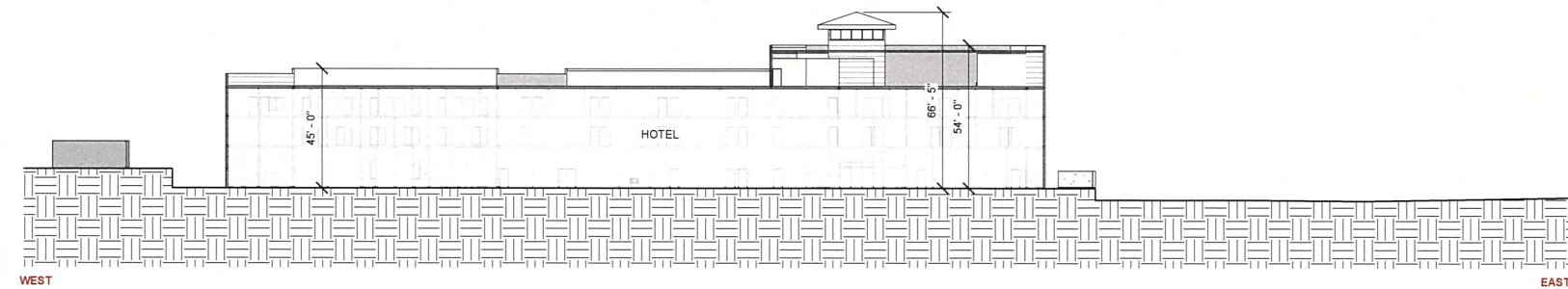
2 || SITE SECTION 2

AS0.02 SCALE: 1/32" = 1'-0" REF:AS0.01



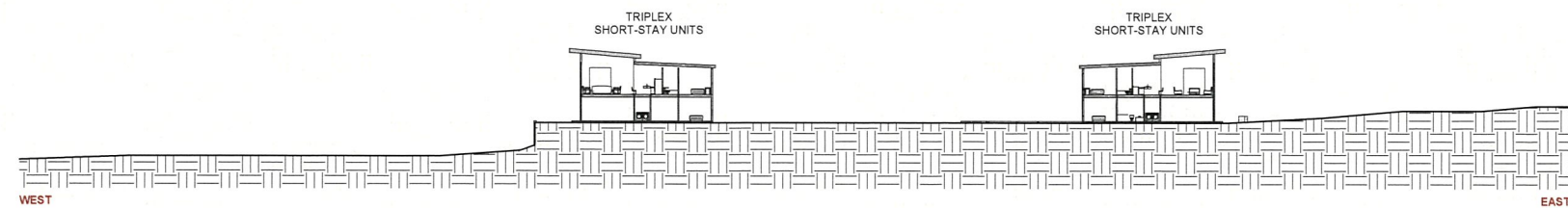
3 || SITE SECTION 3

AS0.02 SCALE: 1/32" = 1'-0" REF:AS0.01



4 || SITE SECTION 4

AS0.02 SCALE: 1/32" = 1'-0" REF:AS0.01



5 || SITE SECTION 5

AS0.02 SCALE: 1/32" = 1'-0" REF:AS0.01

REVISIONS	
No.	Description

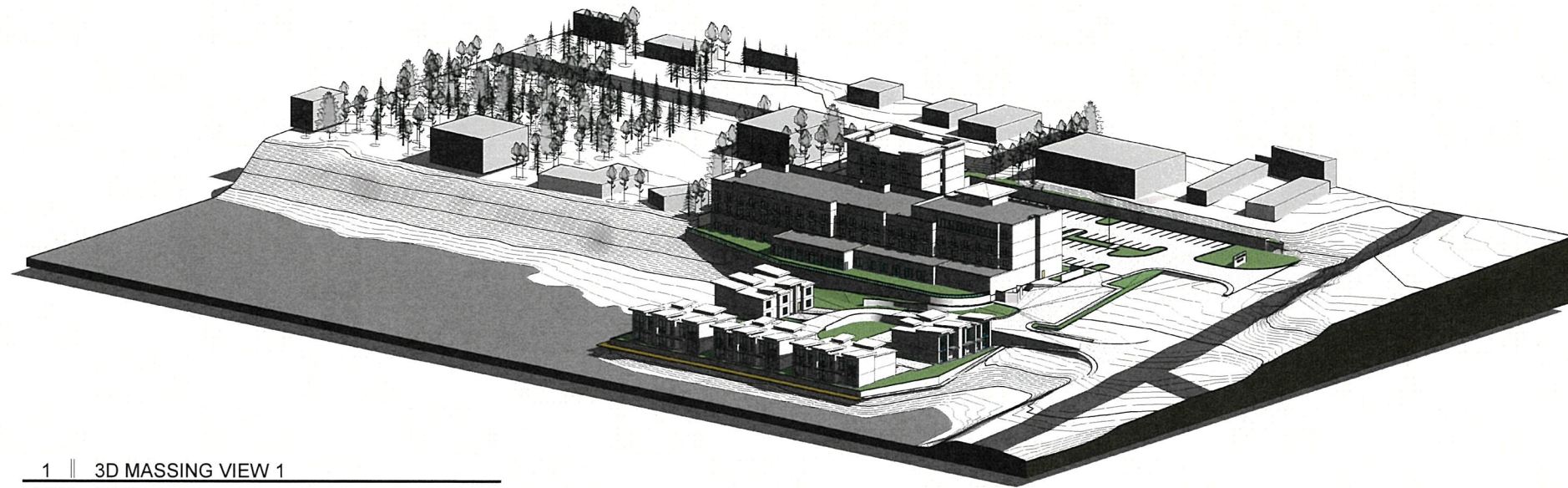


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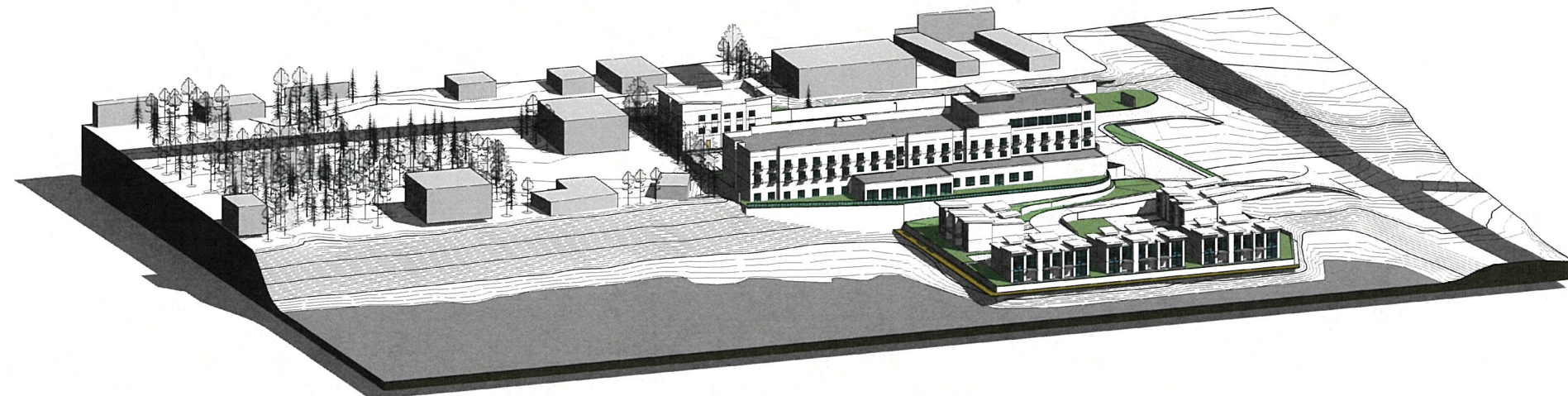
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 15663 & 16663 HOMER SPIT ROAD, HOMER, AK
 ARCHITECTURAL SITE SECTIONS

Job No. 887-001
Date: 11.15.2023
Designed: LRE
Drawn: LRE
Checked: LRE

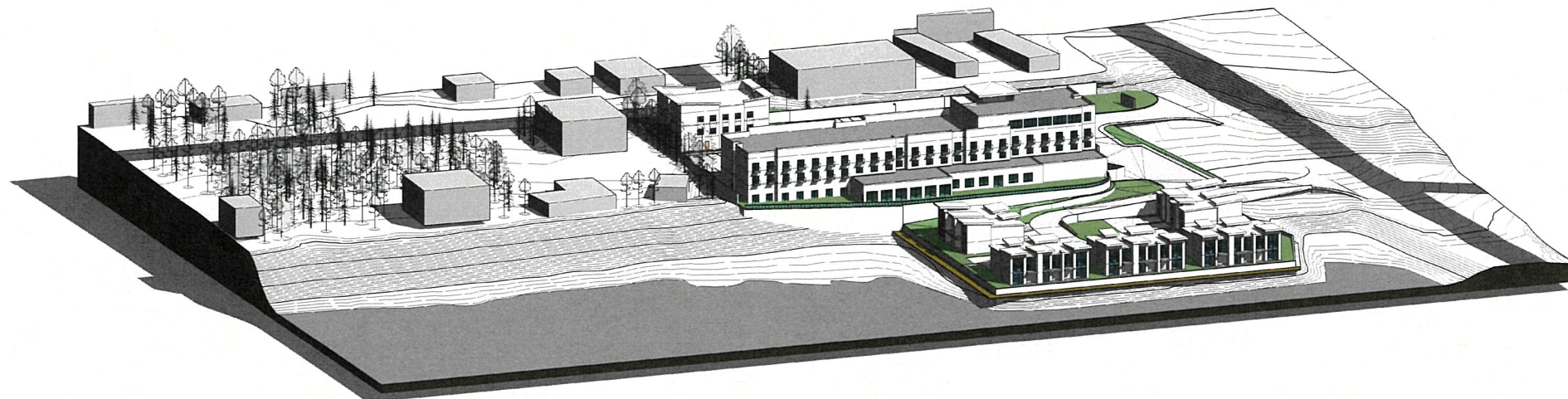
AS0.02



1 || 3D MASSING VIEW 1
AS0.03 SCALE:



2 || 3D MASSING VIEW 2
AS0.03 SCALE:



3 || 3D MASSING VIEW 3
AS0.03 SCALE:

REVISIONS	
No.	Description



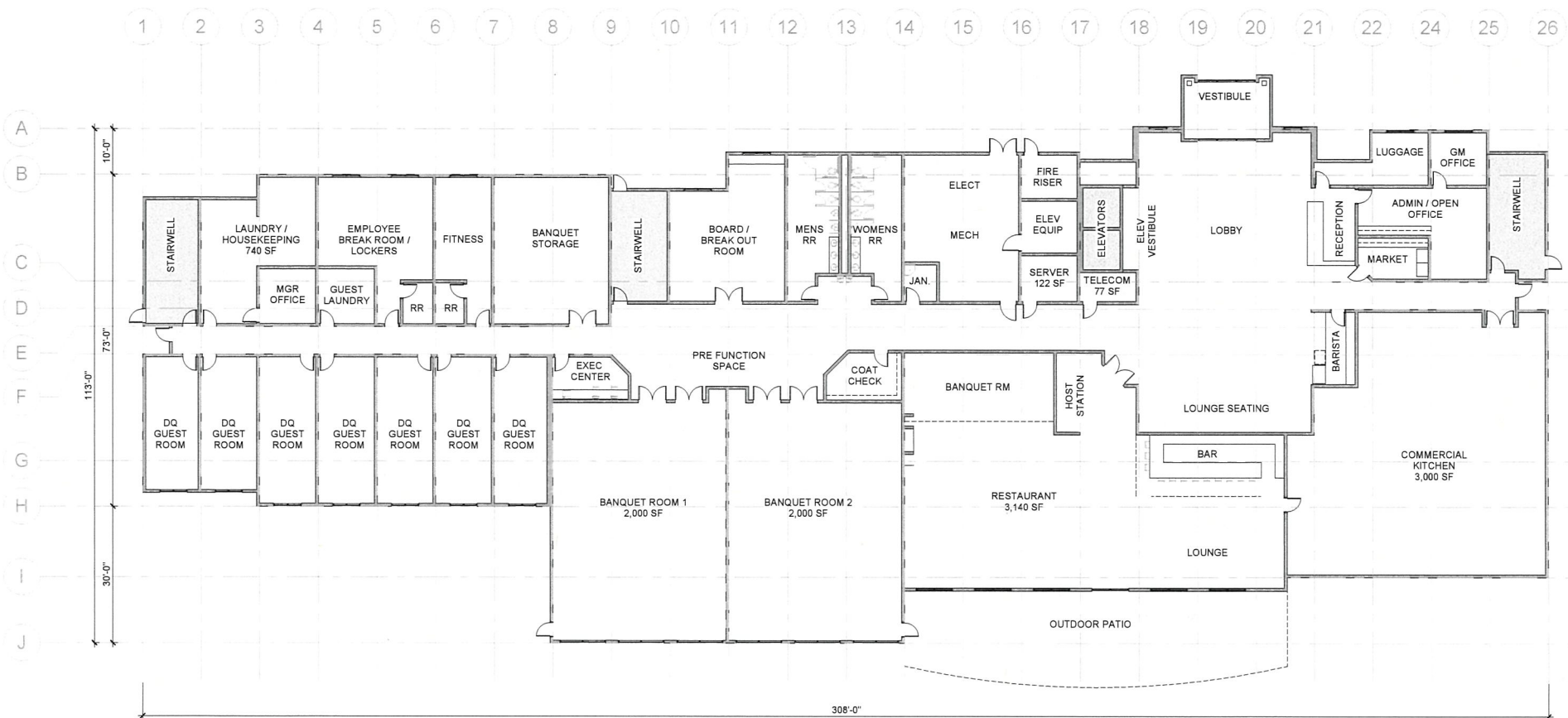
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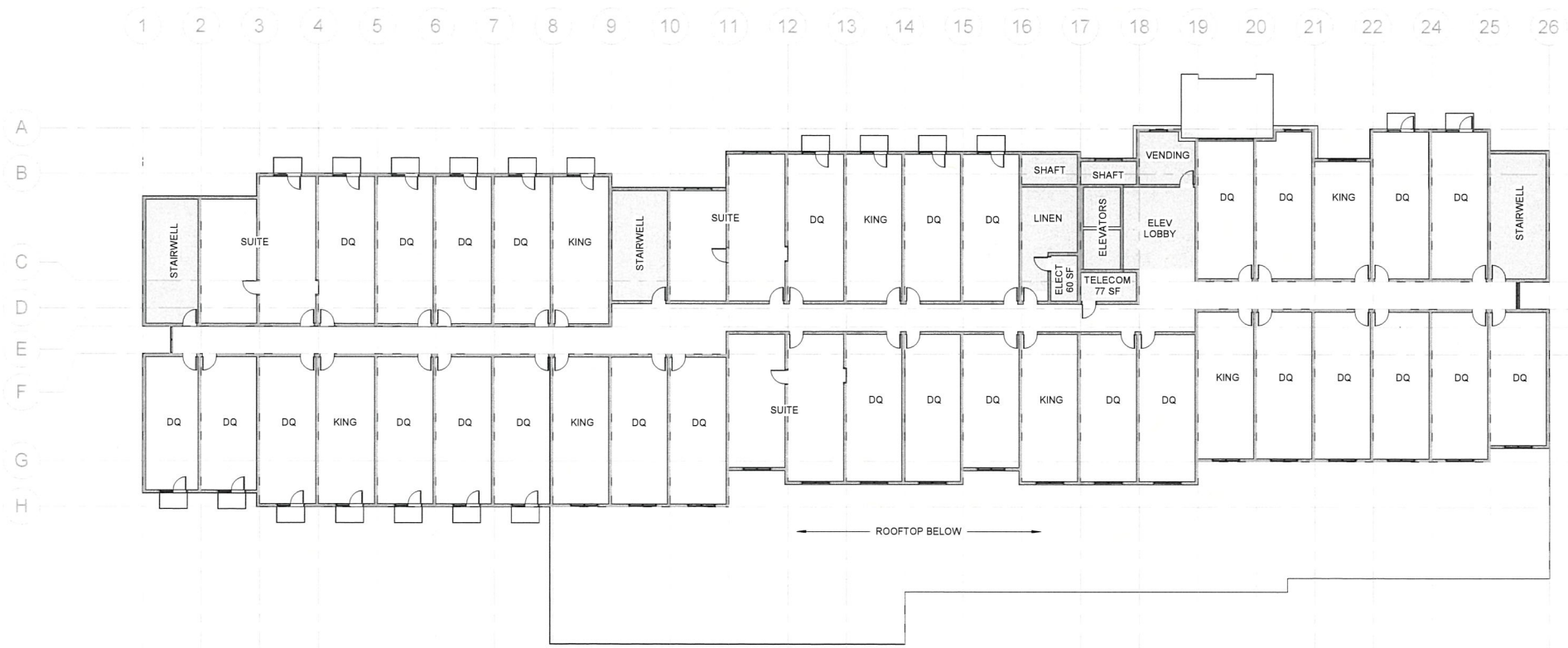
Job No: 887-001
Date: 11.15.2023
Designed: LRE
Drawn: LRE
Checked: LRE

AS0.03

OVERALL SITE 3D MASSING VIEWS



1 || FIRST FLOOR
 A1.01 SCALE: 1/16" = 1'-0" REF:A1.11



2 || SECOND FLOOR
 A1.01 SCALE: 1/16" = 1'-0" REF:A1.11

BUILDING INFORMATION

TOTAL BUILDING SF: 80,505 SF		
28,422 SF	FIRST FLOOR	KITCHEN WALK-IN COOLER/FREEZER, BEER/WINE WALK-IN COOLER, RESTAURANT, 150 SEATS, BANQUET ROOMS, 250-275 SEATS
3,000 SF		
4,000 SF		
22,600 SF	SECOND FLOOR SF	
22,600 SF	THIRD FLOOR SF	
6,883 SF	FOURTH FLOOR SF	BAR: 10-14 SEATS, BAR SEATING: 60 SEATS
+ 650 SF	EXTERIOR PATIO	OUTDOOR SEATING 40-60 SEATS
+ 1,900 SF	PORTE COCHERE	

GUEST ROOMS

FIRST FLOOR GUEST ROOM QUANTITIES: 7 ROOMS		
0	KING ROOMS	
7	DOUBLE QUEEN ROOMS	
0	SUITES	
SECOND FLOOR GUEST ROOM QUANTITIES: 39 ROOMS		
7	KING ROOMS	
29	DOUBLE QUEEN ROOMS	
3	SUITES	
THIRD FLOOR GUEST ROOM QUANTITIES: 39 ROOMS		
8	KING ROOMS	
28	DOUBLE QUEEN ROOMS	
3	SUITES	
TOTAL GUEST ROOM QUANTITY: 85 ROOMS		
15	KING ROOMS	
64	DOUBLE QUEEN ROOMS	
6	SUITES	

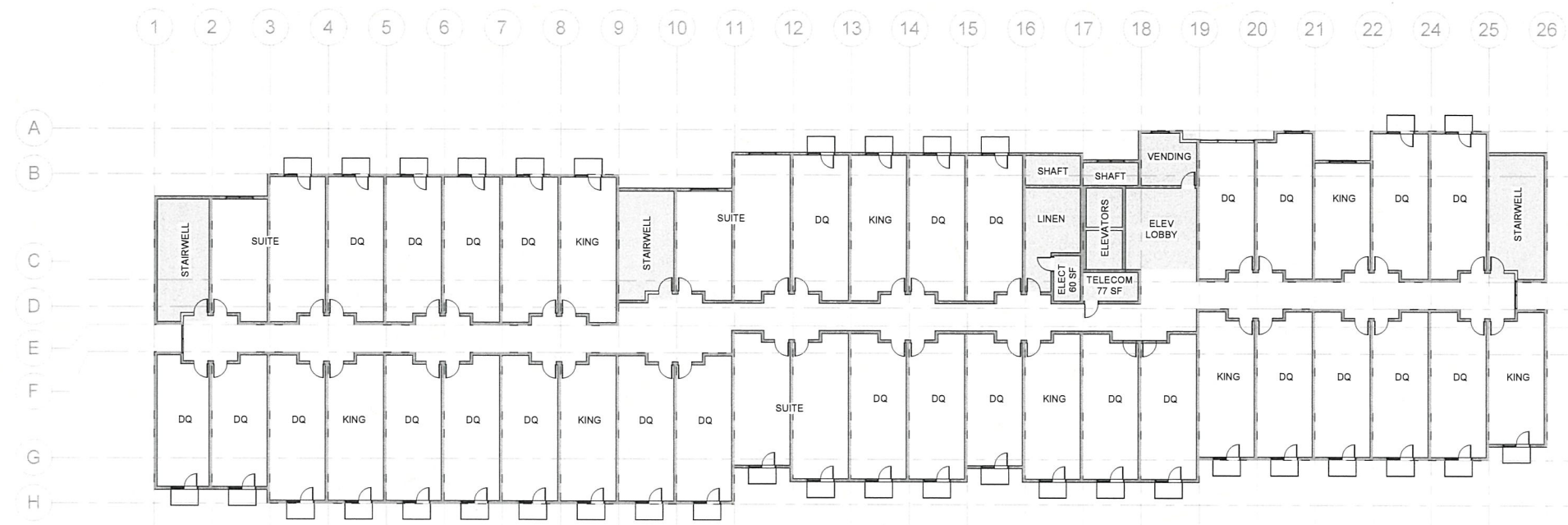
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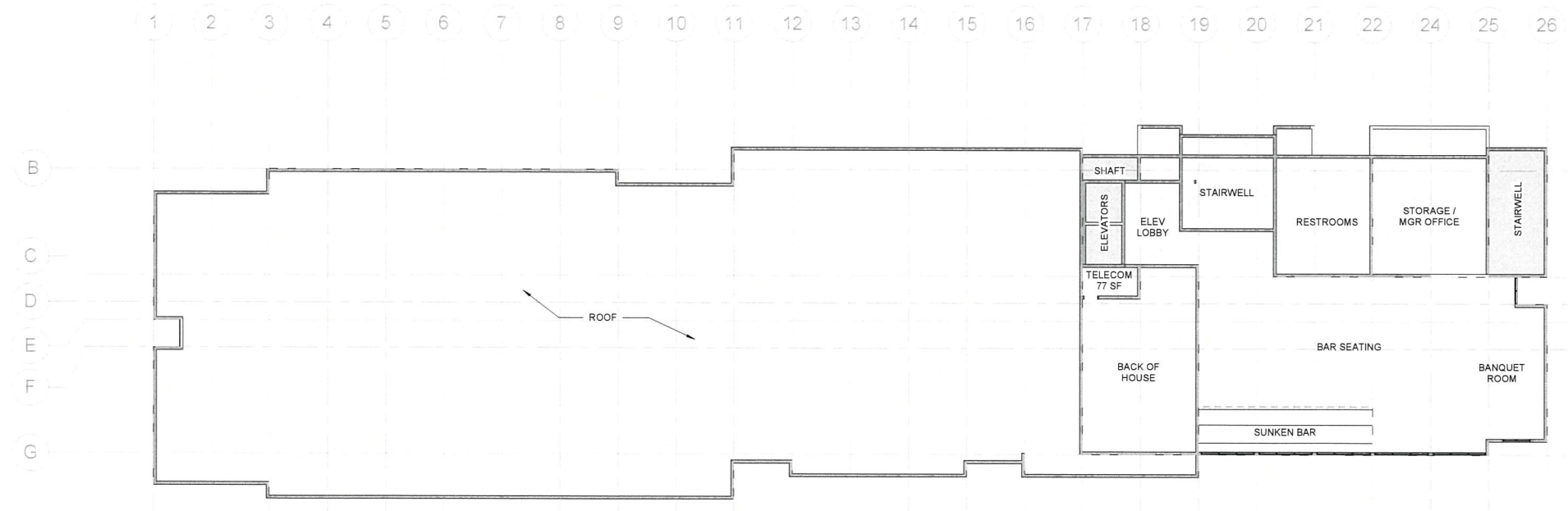
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LIGHTHOUSE VILLAGE DEVELOPMENT
 DOYON, LIMITED
 1563 & 1663 HOMER SPIT ROAD, HOMER, AK
 HOTEL - FIRST AND SECOND FLOOR PLANS

Job No: 807-001
 Date: 11.15.2023
 Designer: LRE
 Drawn: LRE
 Checked: LRE



1 || THIRD FLOOR
 A1.02 SCALE: 1/16" = 1'-0" REF:A1.11



2 || FOURTH FLOOR
 A1.02 SCALE: 1/16" = 1'-0" REF:A1.11

REVISIONS	
No.	Date / Description



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 HOTEL - THIRD AND FOURTH FLOOR PLANS

Job No. 867-001
Date 11.15.2023
Designed LRE
Drawn LRE
Checked LRE

A1.02

GENERAL NOTES

1 EXTERIOR ELEVATIONS ARE SCHEMATIC FOR PREDESIGN LEVEL PURPOSES ONLY



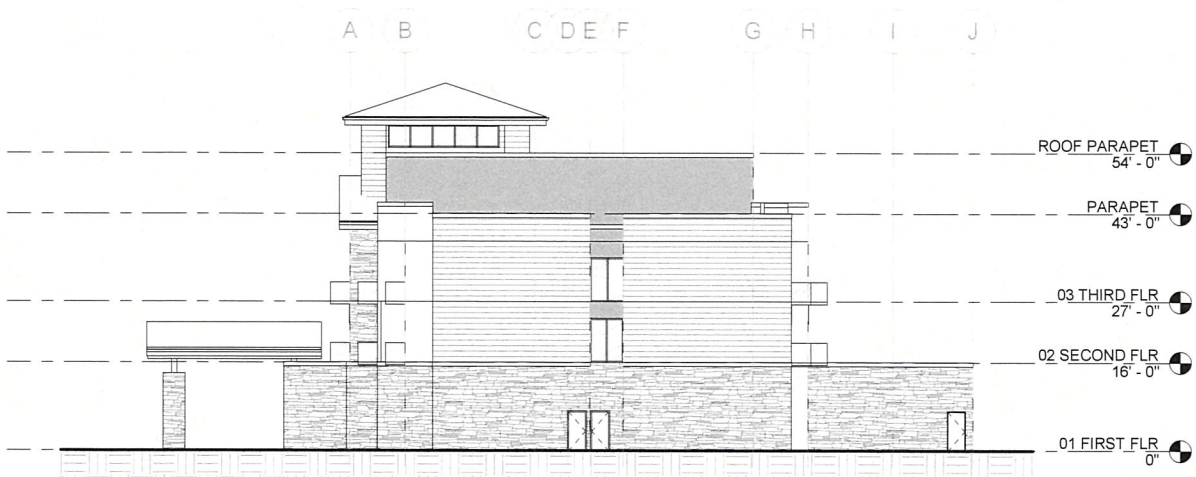
1 || NORTH ELEVATION

A1.11 SCALE: 1/16" = 1'-0"



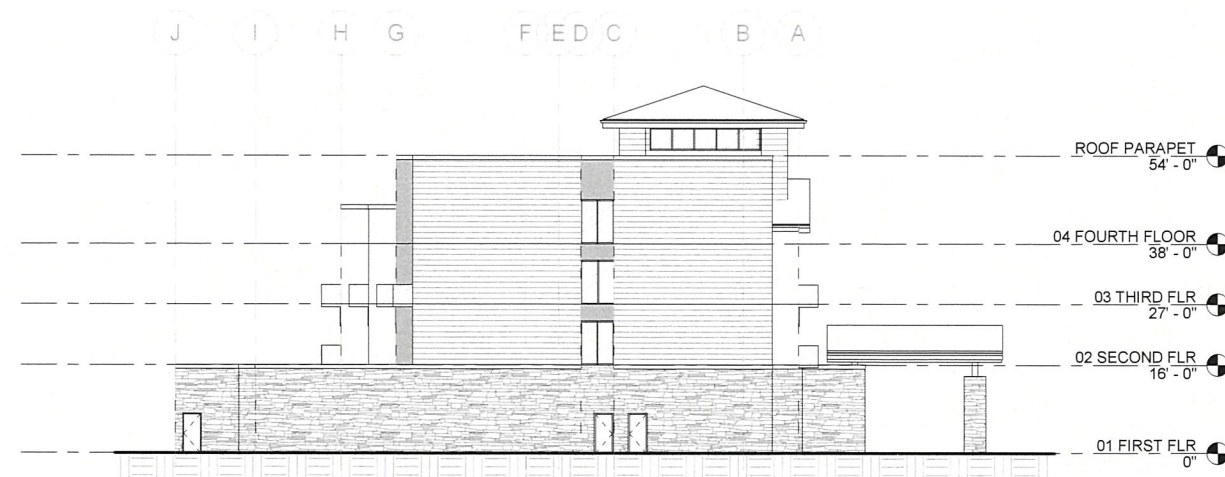
2 || SOUTH ELEVATION

A1.11 SCALE: 1/16" = 1'-0"



3 || WEST ELEVATION

A1.11 SCALE: 1/16" = 1'-0"



4 || EAST ELEVATION

A1.11 SCALE: 1/16" = 1'-0"

REVISIONS	
No.	Description



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HOTEL - EXTERIOR ELEVATIONS

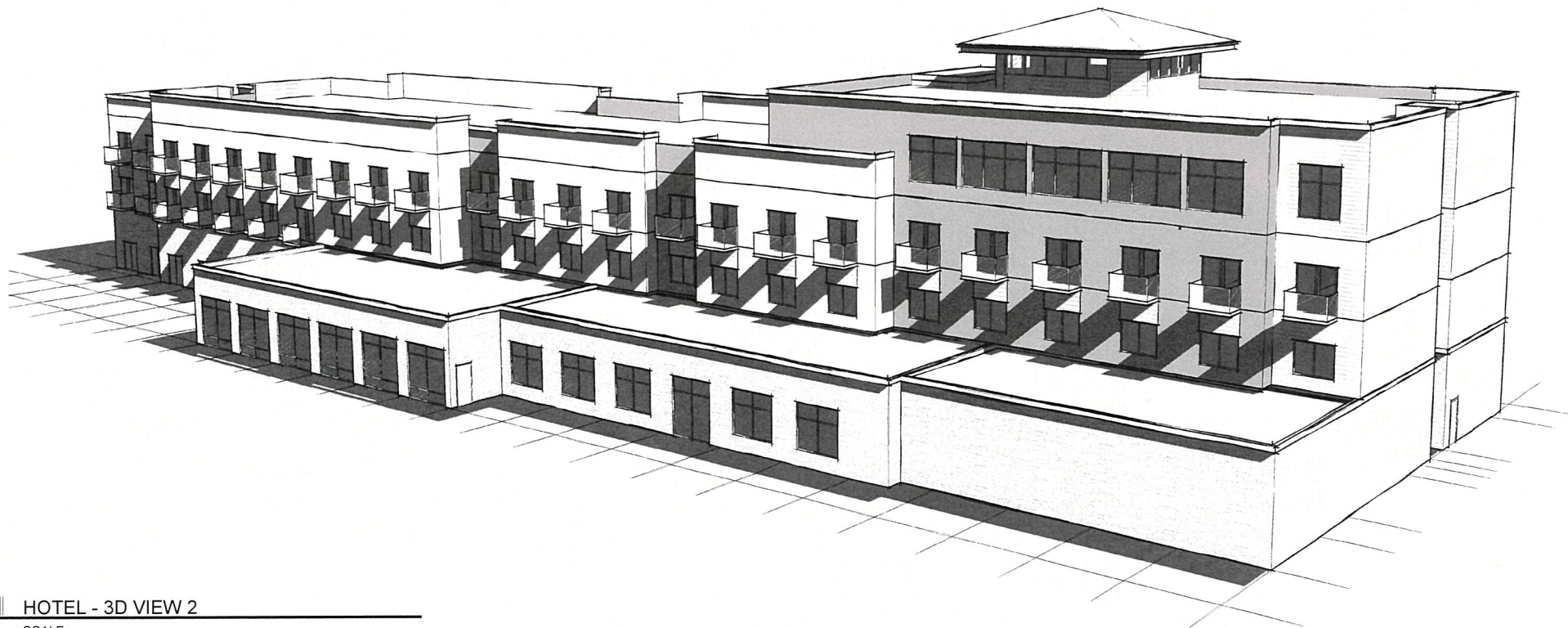
Job No: 887-001
 Date: 11/15/2023
 Design Designer
 Drawn: Author
 Checked: Checker

A1.11



1 || HOTEL - 3D VIEW 1

A1.21 SCALE:



2 || HOTEL - 3D VIEW 2

A1.21 SCALE:

REVISIONS	
No.	Description



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HOTEL - 3D MASSING VIEWS

Job No: 887-001
Date: 11/15/2023
Designed: LRE
Drawn: LRE
Checked: LRE

A1.21